

## HIGHLANDS MASTER DEVELOPMENT PLAN

SEPTEMBER 26, 2012

PREPARED BY:

Peterson Development

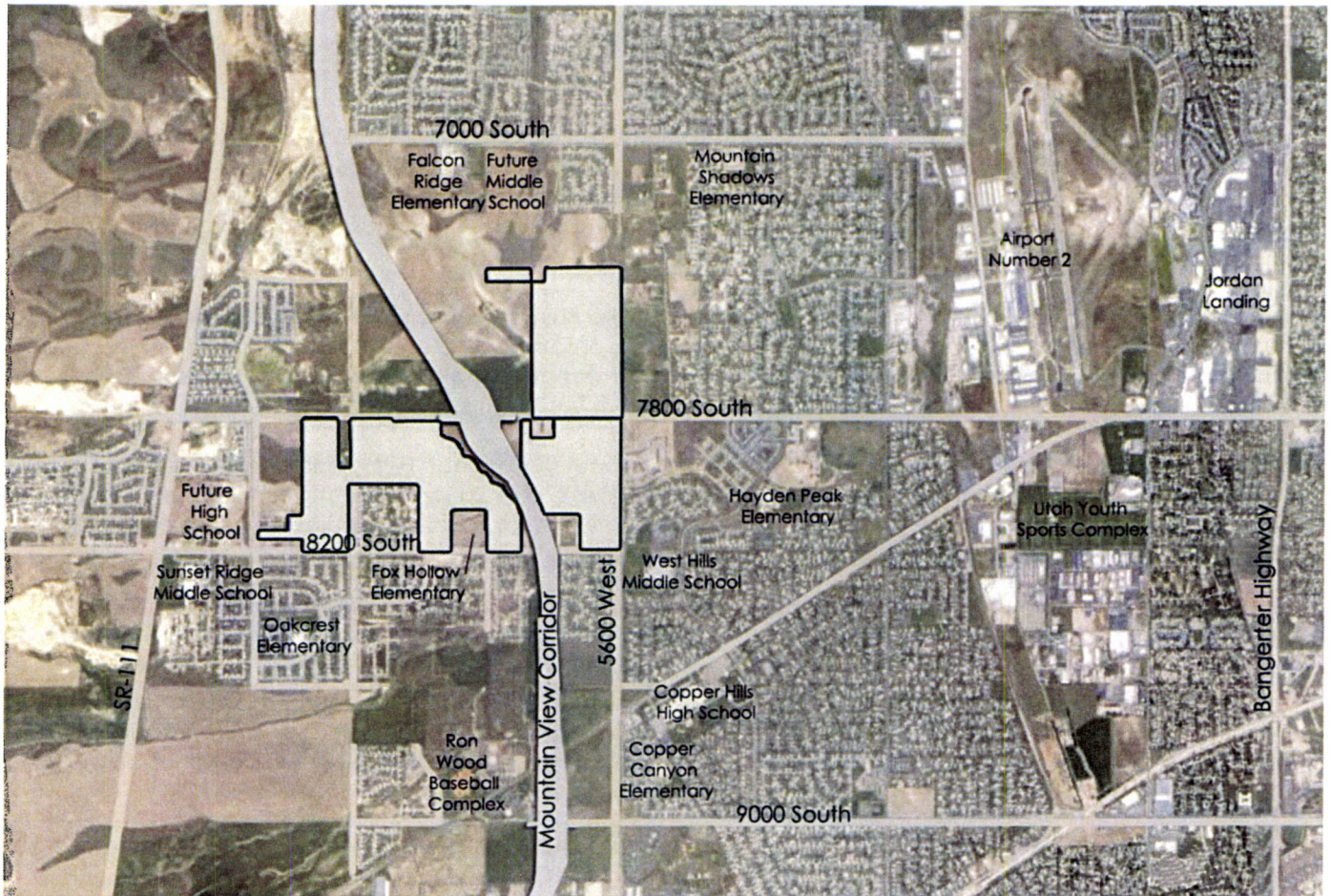
# HIGHLANDS DEVELOPMENT PLAN

## CONTENTS

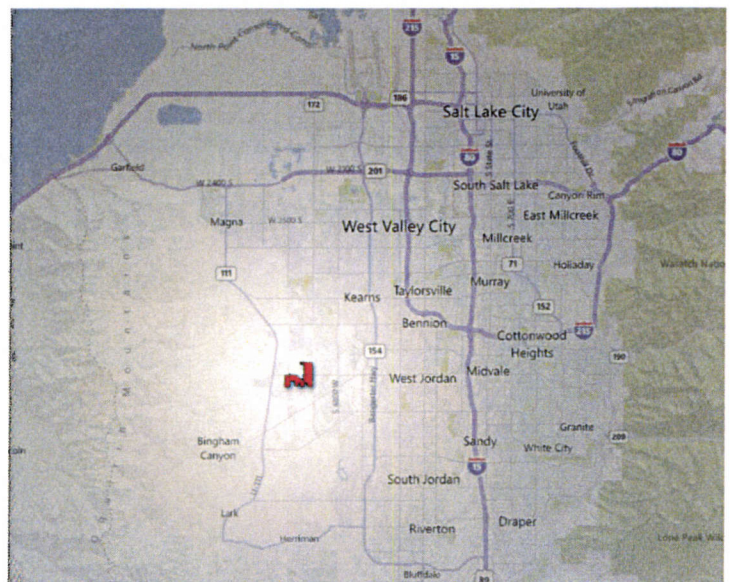
Location Map	2
Introduction	3
Existing Zoning and Land Use	4
Concept Site Plan	5
Road Circulation (street system and hierarchy, cross sections)	7
Pedestrian Circulation	12
Phasing	14
Amenities By Area	17
Highlands West Overview	19
Highlands East Overview	23
Highlands North Overview	27
Zoning Regulations-By Land Use (lot area, lot width, setbacks, building heights)	31
Buildings and Structures (Elevations and footprints)	33
Fencing and Walls	36
Lighting	37
Public and Private Use Areas	38
Landscaping-General Areas: streetscape, washes, entrances, buffers, parks	39
Drainage Corridors, Flood Plain, and Steep Slopes	41
Process For Subsequent Submittals	42
Appendix	
Existing Land Use/Zoning Map	
Existing Utilities	
EX-C1 Existing Land Use Features Map	
EX-C2 Existing Services Map - Overall	
EX-C3 Existing Services Map - Highlands West	
EX-C4 Existing Services Map - Highlands East	
EX-C5 Existing Services Map - Highlands North	



# LOCATION MAP



Project Boundary



Regional Context



# INTRODUCTION

The Highlands is a Master Planned Community located within the western portion of West Jordan, Utah not far from the eastern slope of the Oquirrh Mountains. The Highlands name stems from the gently rolling hills of agricultural land that comprise this project.

The Highlands is approximately 370 acres and contains 3 distinct communities that are delineated by the major roads that provide access to the site. This project straddles 7800 South and the Mountain View Corridor (MVC), which is currently under construction. The MVC has played a large role in the placement of land use and overall road structure in this project. Highlands North lies north of 7800 South, Highlands East lies south of 7800 South and east of MVC. Highlands West lies south of 7800 South and west of MVC.

Another major element that influences this project is the future Bus Rapid Transit (BRT) line that will run along 5600 West, the eastern boundary of this project. With access onto the MVC on 7800 South and a transit line on 5600 West, this project holds key elements necessary for a strong and viable commercial center and Transit Oriented Development.

The residential element of the Highlands is diversified throughout the project. Higher intensity residential is placed close to commercial and to the BRT to create a walkable population support for these uses. The residential intensity decreases radially from the commercial centers. A range of residential intensities allows for a strong mix of residents in different stages of life in this project.

The conceptual site plan for the Highlands was reviewed by West Jordan City Staff and the Planning Commission in May 2011.

The Highlands Development Plan will serve as a guiding document or master plan for the development of the overall community. The number of residential units proposed by this Master Plan will be established by the buy-up program as each Village Preliminary Development Plan is approved. Density buy-ups are not approved, vested, or ratified through this plan.

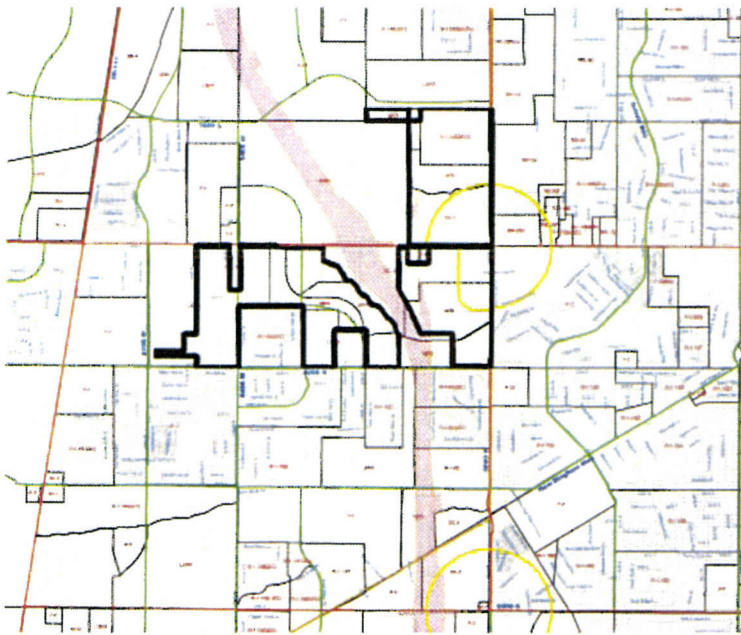
The Highlands Master Development Plan is based upon the West Side Planning Area, Section 13-5J-2 or the West Jordan municipal code adopted by ordinance # 06-50, 12-12-2006. Conceptual building footprints and locations associated with this plan are conceptual in nature; actual siting of improvements and structures will be ratified at the time of approval of each Village Preliminary Development Plan or each approved phase within each village.



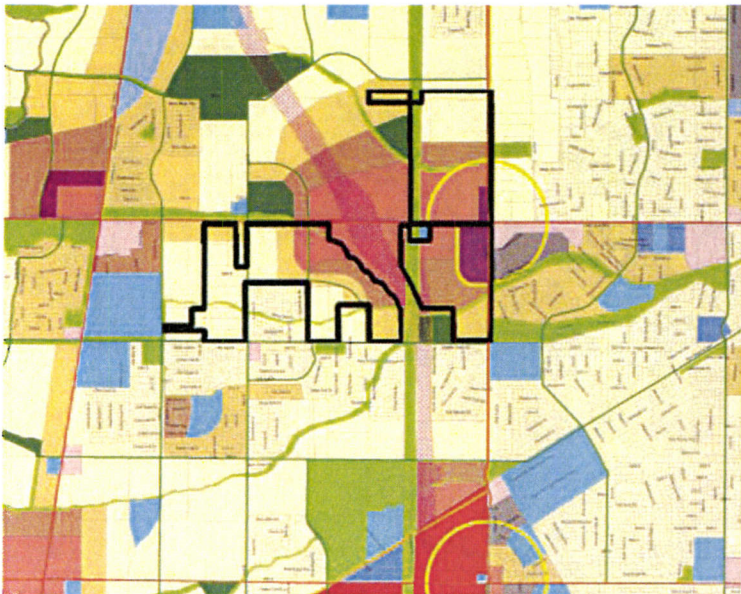
View of Wasatch Mountains



# EXISTING ZONING AND LAND USE



In 2006, City Council adopted the West Side Specific Planning Area (WSPA) which amended the future land use map for land west of 5600 West, including the land within this project. In-depth studies were carried out to ensure that the west side of West Jordan would have a well balanced land use plan that would facilitate long term sustainable growth for current and future residents. In August of 2008, Peterson Development received information about a shift in the preliminary design of the Mountain View Corridor. The new concept had moved the Right-of-way of the future freeway further to the west creating a remnant parcel in an area zoned SC-2. On March 10, 2009 (Ordinance # 09-04), various portions of the Highlands project were redistributed and rezoned to accommodate a better more livable and developable project. The future land use map was also updated on this date. The overall balance of land uses was not changed so as to keep the balance created within the WSPA.



The Highlands consists of a variety of land use and zoning designations. These designations include: Low Density Single Family Residential (LSFR 2.01-4.50 units/acre); R-1-10 D/E(ZC) (10,000 sq. ft. lots with D and E size homes); Medium Density Multi-Family Residential (MFR 4.51-9.0 units/acre); High Density Multi-Family Residential (HFR 9.01-18.0 units/acre); Mixed Use (Transit Station Overlay District); and Community Shopping Center (SC-2). The Transit Station Overlay District (TSOD) boundary for Highlands East was established in conjunction with the rezone on March 10, 2009.

The Existing Land Features Map can be found in Appendix EX-C1.



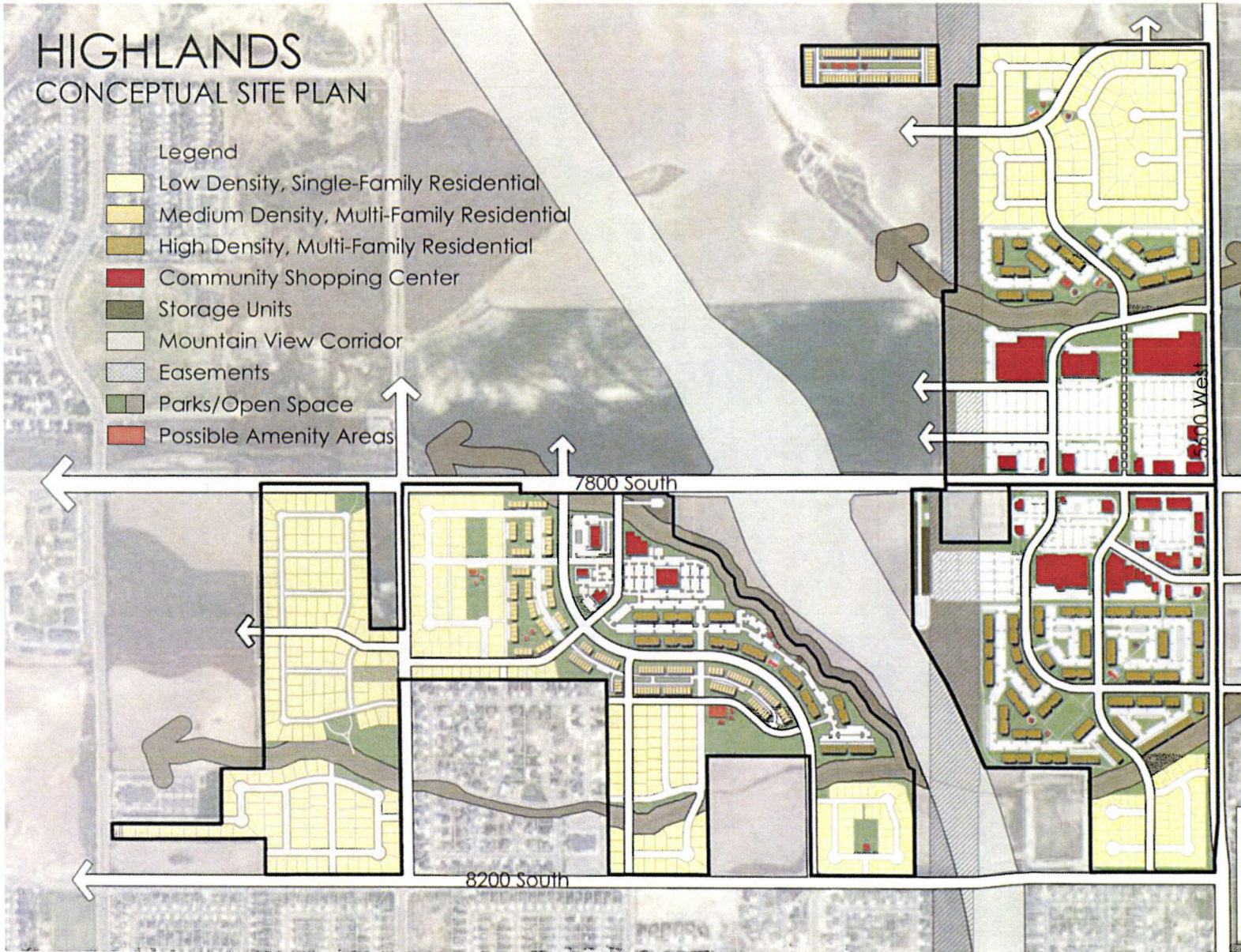


# HIGHLANDS

## CONCEPTUAL SITE PLAN

### Legend

- Low Density, Single-Family Residential
- Medium Density, Multi-Family Residential
- High Density, Multi-Family Residential
- Community Shopping Center
- Storage Units
- Mountain View Corridor
- Easements
- Parks/Open Space
- Possible Amenity Areas





# ROAD CIRCULATION

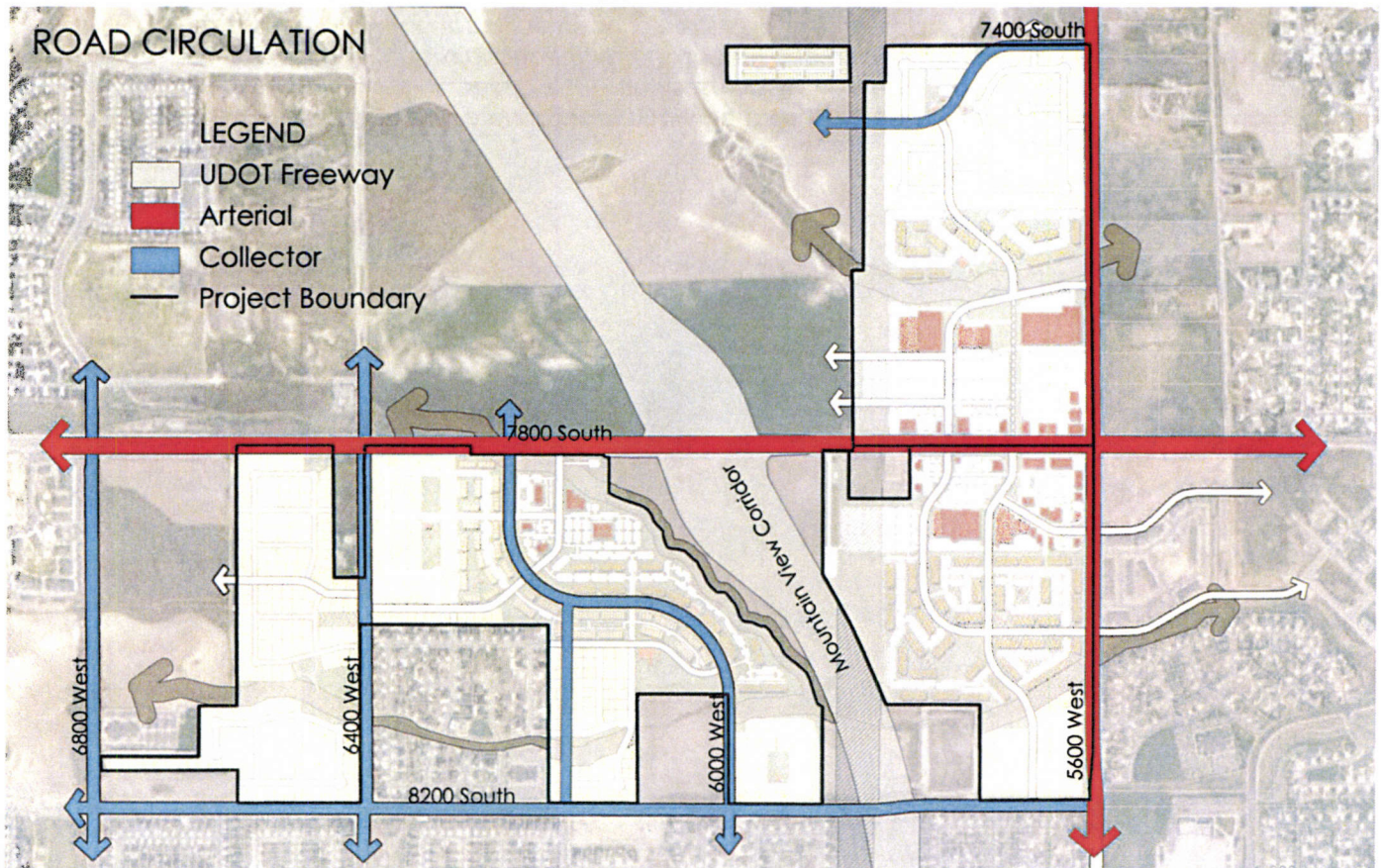
## (Street Hierarchy and Cross Sections)



The Highlands is comprised of a hierarchy of streets designed to maximize connectivity between residents and community amenities. Roads are organized by functional class as defined by the City engineering standards. The exhibit below corresponds to the West Jordan City Transportation Master Plan. The following pages contain prototypes of street cross sections.

Rights-of-way comply with City standards. However, in a few specific circumstances some of the rights-of-way for proposed streets have been adjusted, at the City's request, to match the existing pavement configuration.

Due to scale the exhibit below only indicates the location of arterial and collector roadways. The location of the residential scale roads are subject to change and will be established at the site plan level. Rights-of-way for both public and private streets are defined by the cross-sections in the following diagrams.

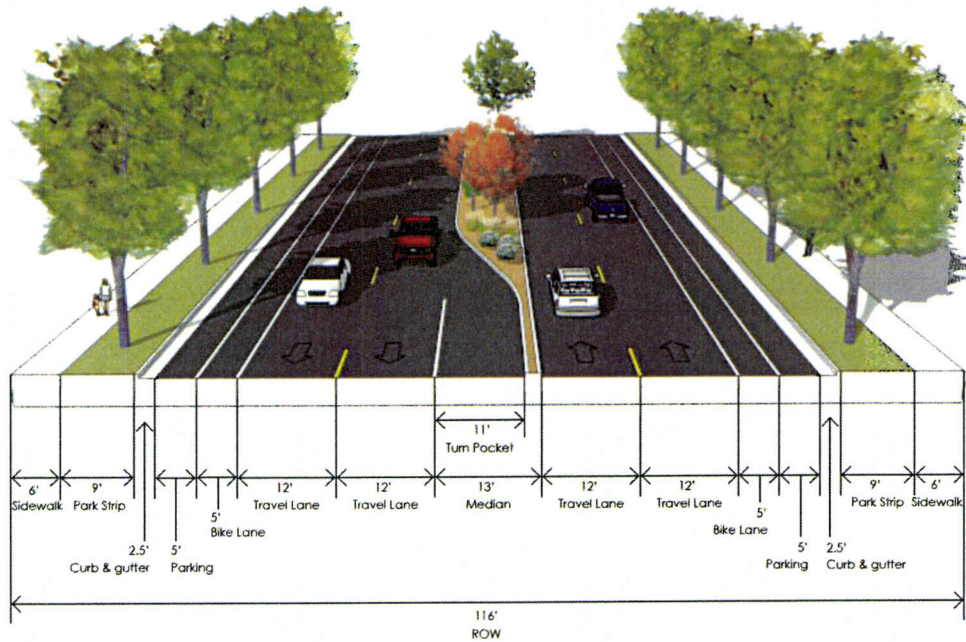




# CROSS SECTIONS

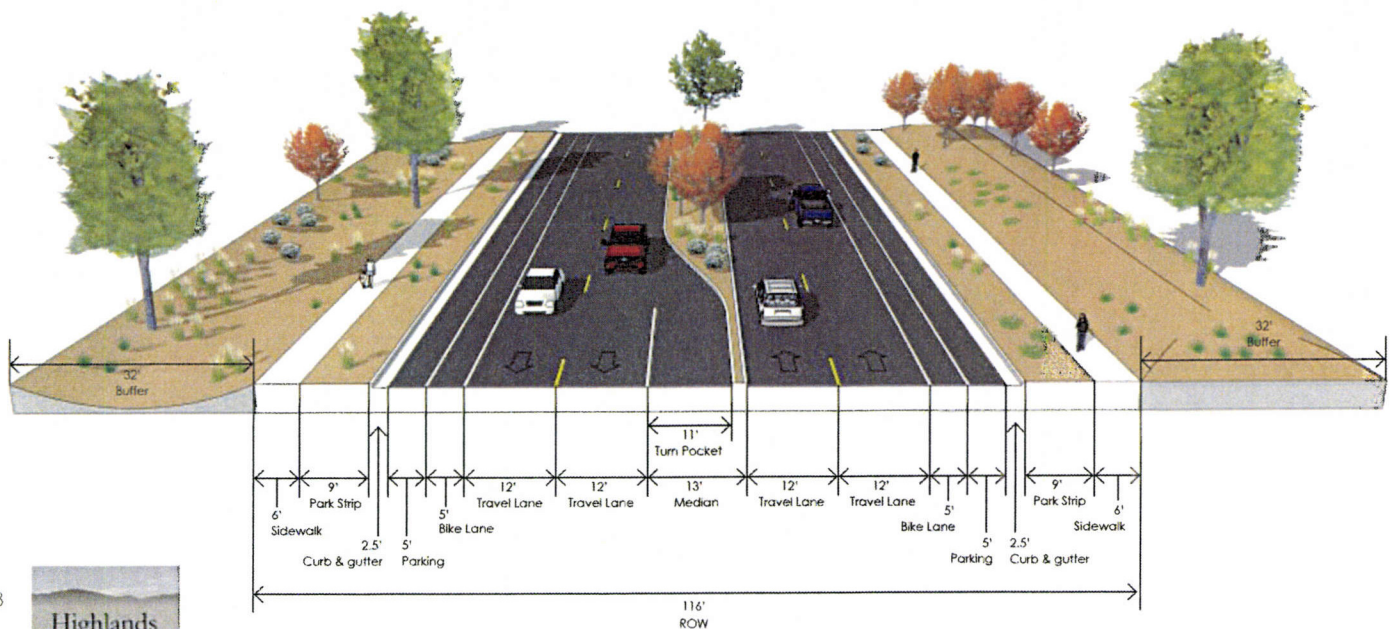
## ARTERIAL (STANDARD)

Streetscape concepts are prototypical only and are included to demonstrate a variety of potential applications.

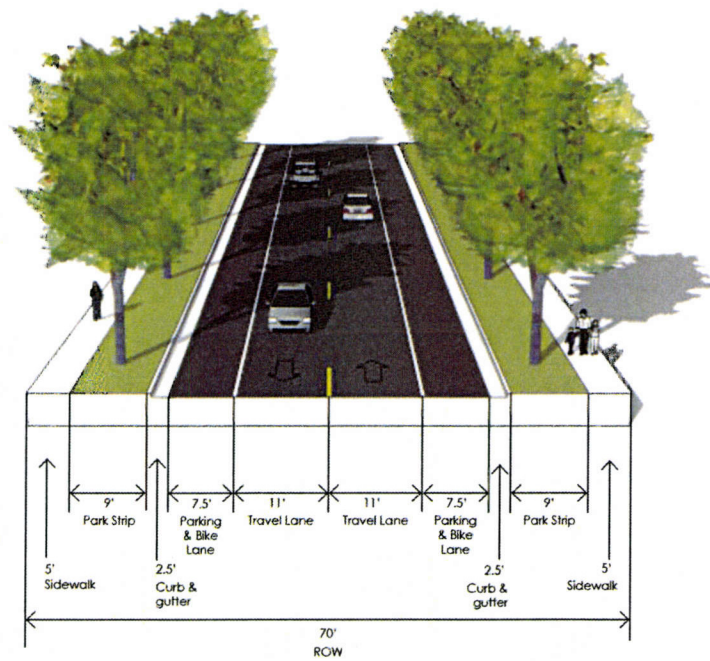


The diagram below demonstrates a potential arterial streetscape configuration with 32' landscape buffers compliant with Sec. 13-5J-6 (item 5: *Provision of a landscape buffer on major right-of-ways, eliminating double-fronting lots*) of the Municipal Code. Buffers may be used within the project in conjunction with the density buy-up program. Landscape buffers may be incorporated where appropriate and in accordance with City Codes and Standards.

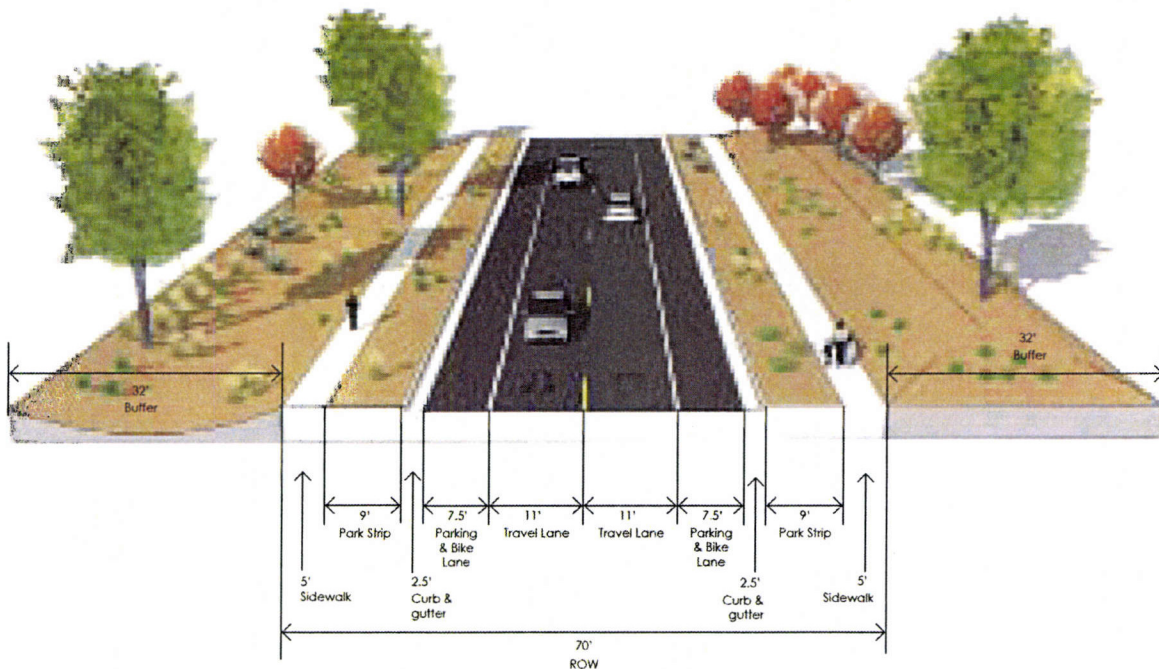
## ARTERIAL WITH LANDSCAPE BUFFER



## COLLECTOR (STANDARD)



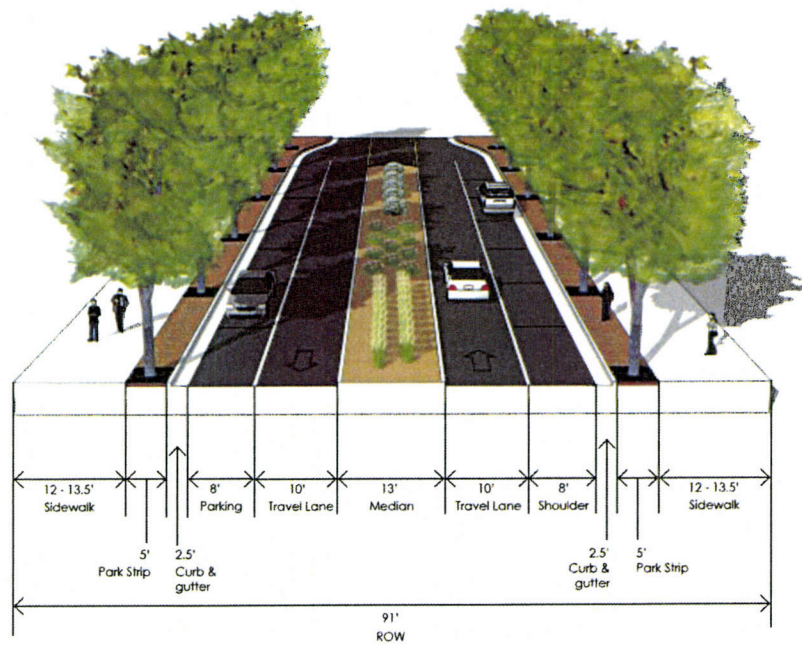
## COLLECTOR WITH LANDSCAPE BUFFER



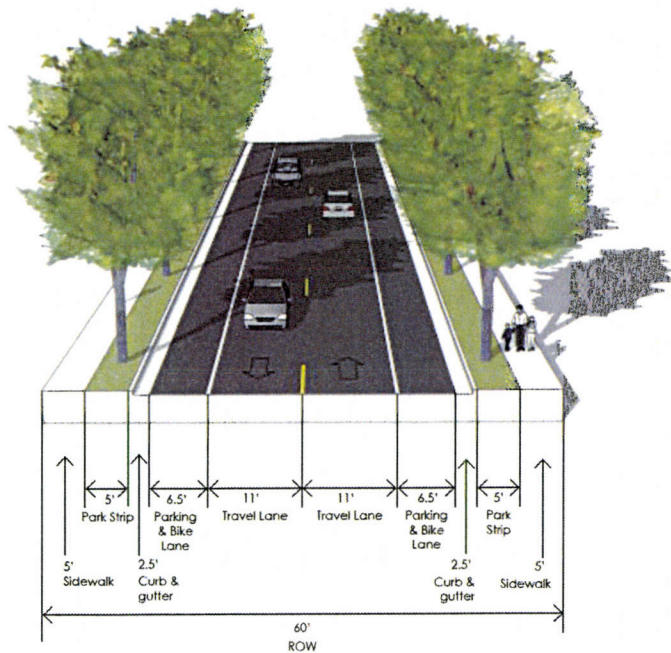
The diagram above demonstrates a potential major collector streetscape configuration with 32' landscape buffers compliant with Sec.13-5J-6 (item 5: *Provision of a landscape buffer on major right-of-ways, eliminating double-fronting lots*) of the Municipal Code. Buffers may be used within the project in conjunction with the density buy-up program. Landscape buffers may be incorporated and in accordance with City Codes and Standards.



## PEDESTRIAN STREET (TRANSIT VILLAGE)

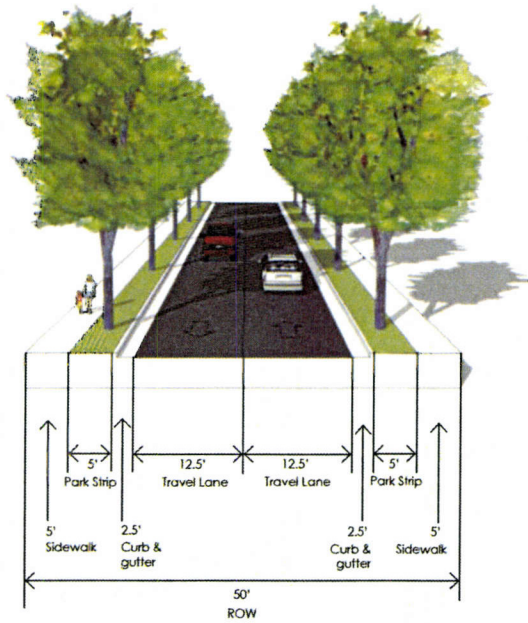


## RESIDENTIAL COLLECTOR

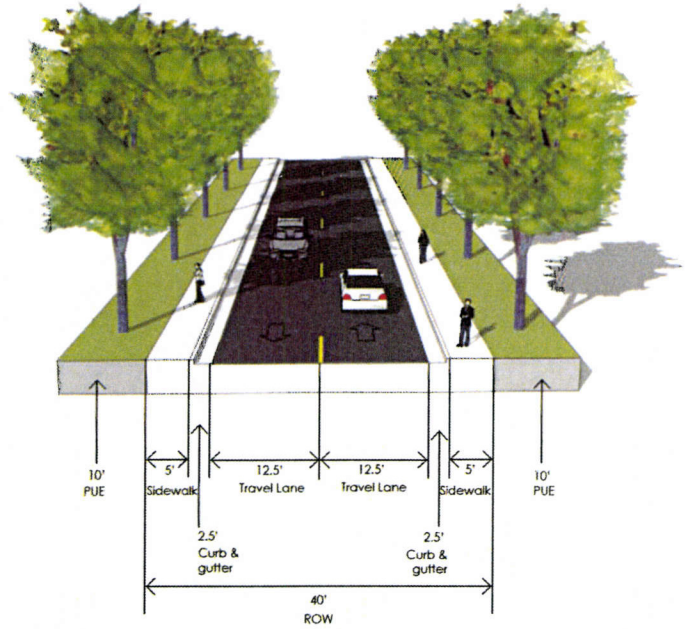




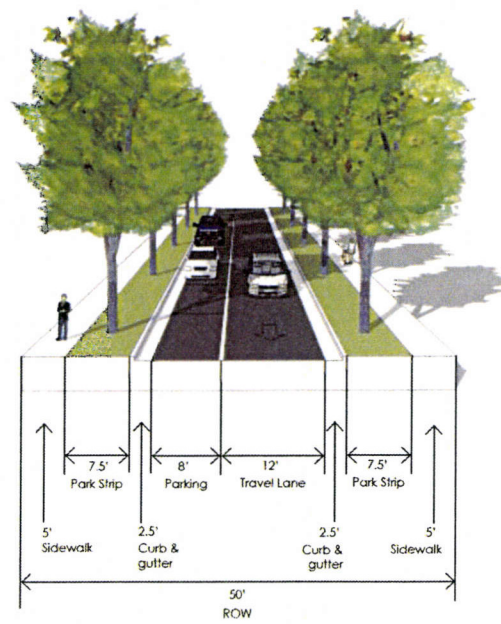
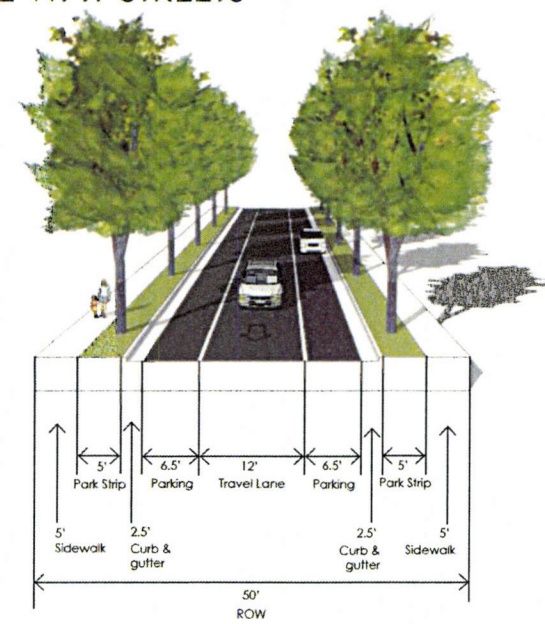
## LOCAL STREETS



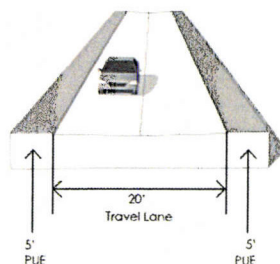
## PRIVATE STREETS



## ONE-WAY STREETS



## ALLEY



Streetscape concepts are prototypical only and are included to demonstrate a variety of potential applications.



# PEDESTRIAN CIRCULATION

Pedestrian circulation in the Highlands consists of sidewalks adjacent to all streets and a series of off-street trails that parallel the natural creeks that meander through the project. Pedestrians will experience these trails in a predominantly natural environment. The landscape treatment should emphasize low maintenance. It is the intent that these facilities will be dedicated as public trails within the City's required 50' offset from top of bank. Therefore, it is proposed that the City of West Jordan will be responsible for the maintenance of all dedicated public trails within the Highlands.

Several measures to ensure pedestrian comfort are provided throughout the Highlands. Small amenitized landscape oasis or "hot spots" are located in areas where the trail intersects with streets. These hot spots may include a bench, trash receptacle with focused irrigated plant material in the immediate vicinity. As dictated in the municipal code the landscape design requires 1 tree per 25 linear feet of trail, and 1 shrub, bush, or perennial flower per 2 linear feet of trail. Clustering of plant material is encouraged. These generation rates for plant material will be respected and concentrated in the hot spot locations. The maintenance of these hot spots will be linked to the HOA adjacent to each particular hot spot.

In addition the code requires that all trees and shrubs shall be of water conserving species that can withstand dry conditions once established. The plant list to determine qualifying plants is the "City of West Jordan Recommended Plant List".



Natural landscape treatment of Midas Creek trail in Herriman, Utah

The other trail system amenity is a proposed trailhead on the 2.63 acre parcel located immediately west of Mountain View Corridor on the south side of 7800 south. This trailhead will be minimalistic in its landscape treatment and provide a handful of parking stalls, a small shade structure with interpretive signage.



Jordan River Parkway Trailhead at 7800 So.









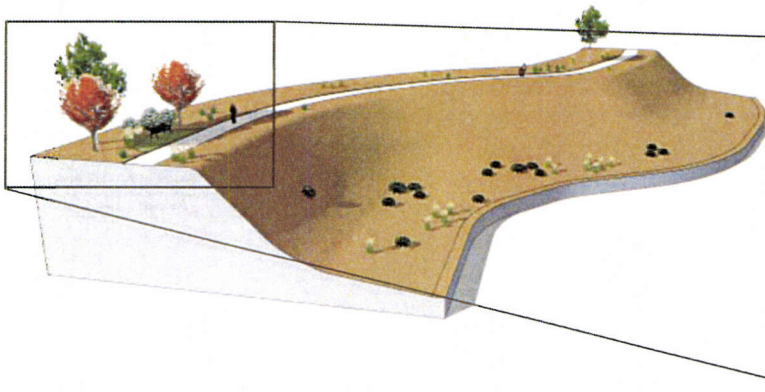
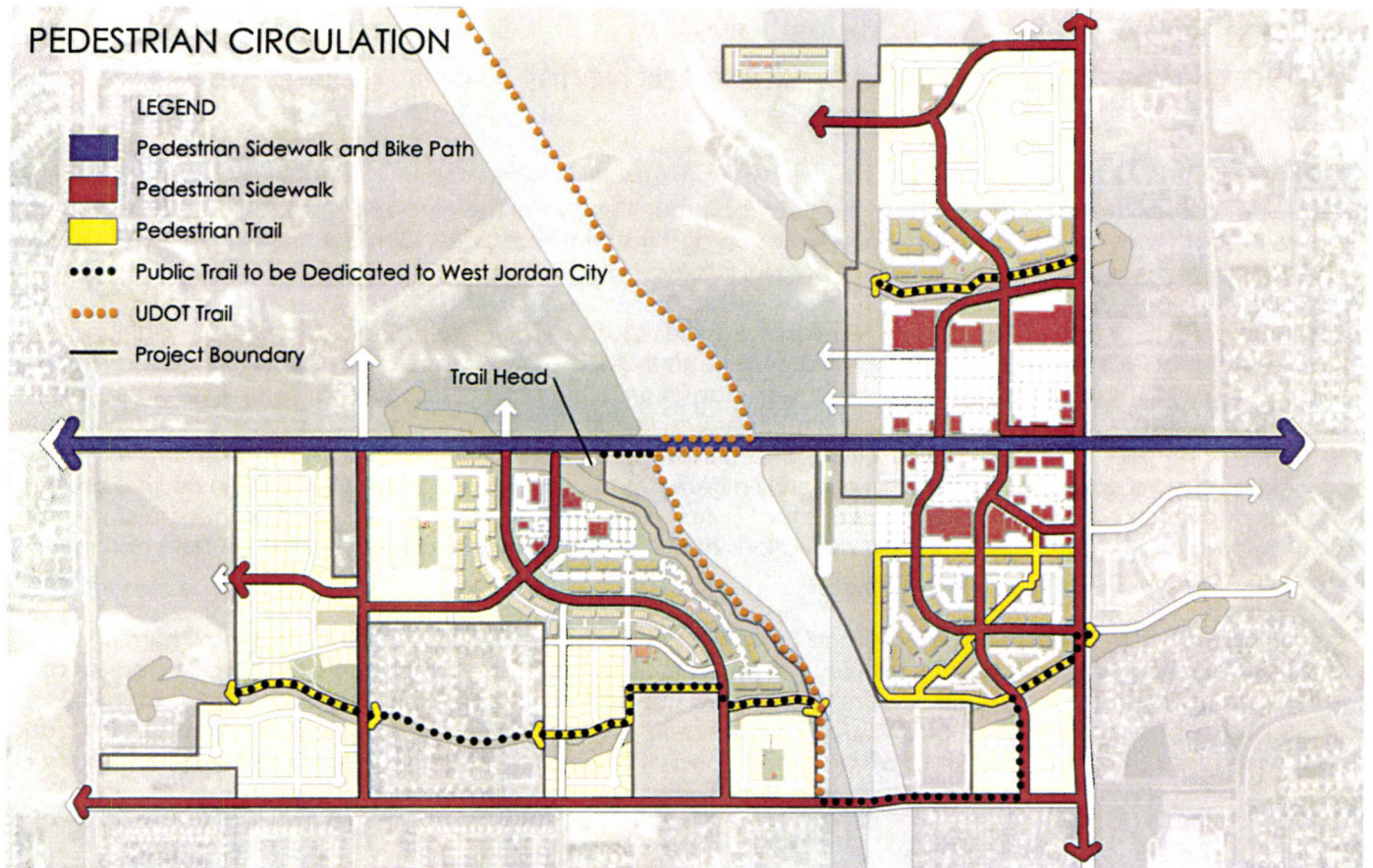
Daybreak Trail System



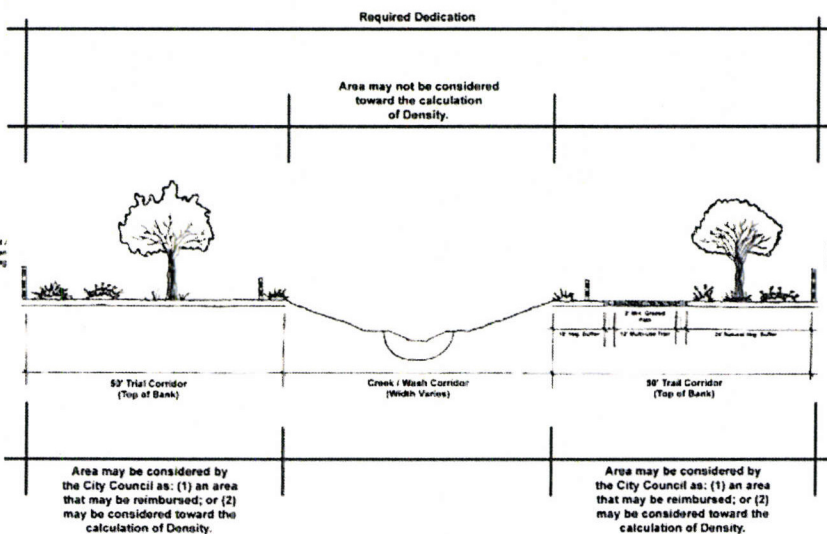
# PEDESTRIAN CIRCULATION

## LEGEND

-  Pedestrian Sidewalk and Bike Path
-  Pedestrian Sidewalk
-  Pedestrian Trail
-  Public Trail to be Dedicated to West Jordan City
-  UDOT Trail
-  Project Boundary



Pedestrian "Hot Spot"



Landscape concepts are prototypes only and are included to demonstrate a variety of potential applications.



# PHASING

## (Highlands West, Highlands East, Highlands North)

The Highlands is compartmentalized into 3 distinct communities by the major roads that provide access to the site. 7800 South creates a logical north-south division and the Mountain View Corridor (MVC), which is currently under construction, separates the southern parcels into east and west.

Highlands North lies north of 7800 South, Highlands East lies south of 7800 South and east of MVC. Highlands West lies south of 7800 South and west of MVC. Although these subareas appear geographically separated by major roads, it is the intent of the Development Plan to unify the project through consistent design elements. Landscape buffers, lighting, fencing, pedestrian connectivity and relationship to centralized community amenities that provide unity. That being said it is important that some diversity exist among the 3 communities. Phasing will play a significant role in providing a slightly different flavor from one community to the next. It is anticipated that over time as the project builds out that styles will evolve, producing a sense of architectural diversity. Each subarea is also targeted to contain collections of different community amenities that will help distinguish one area from neighboring Highlands villages.

Density buy-up will be determined per Village Preliminary Development Plan approval. The maximum unit count established in this document is a guiding number for the overall Highlands and may be adjusted- as a Development Plan for each village is submitted. Mixed-use units are restricted to the TSOD area and will be calculated based on a minimum of 15 du/ac and a maximum of 30 du/ac. The number of mixed-use units and the square footage of individual units will be determined at Development Plan submittal of the TSOD villages.

The primary differences by village are:

### HIGHLANDS WEST

Highlands West is comprised of 6 residential neighborhoods that surround a small commercial center. Highlands West contains a wide range of densities and residential product types. The majority of this community is low density residential (59%) complimenting the existing residential that exists to the south and within Bloomfield Heights. The hallmark of this village is a high level of access to pedestrian trails and other recreational amenities. Each neighborhood has been designed to provide a small open space area within close proximity to residences.

### HIGHLANDS EAST

Highlands East is comprised of 2 residential neighborhoods, a large commercial center, and a vibrant transit oriented development (TOD) near the proposed BRT station. Residential densities reflect proximity to non-residential intensities. The hallmark of this village is the TOD and the high degree of pedestrian access to commercial centers. Each of the residential neighborhoods are designed to provide direct access to public trails along Clay Hollow.

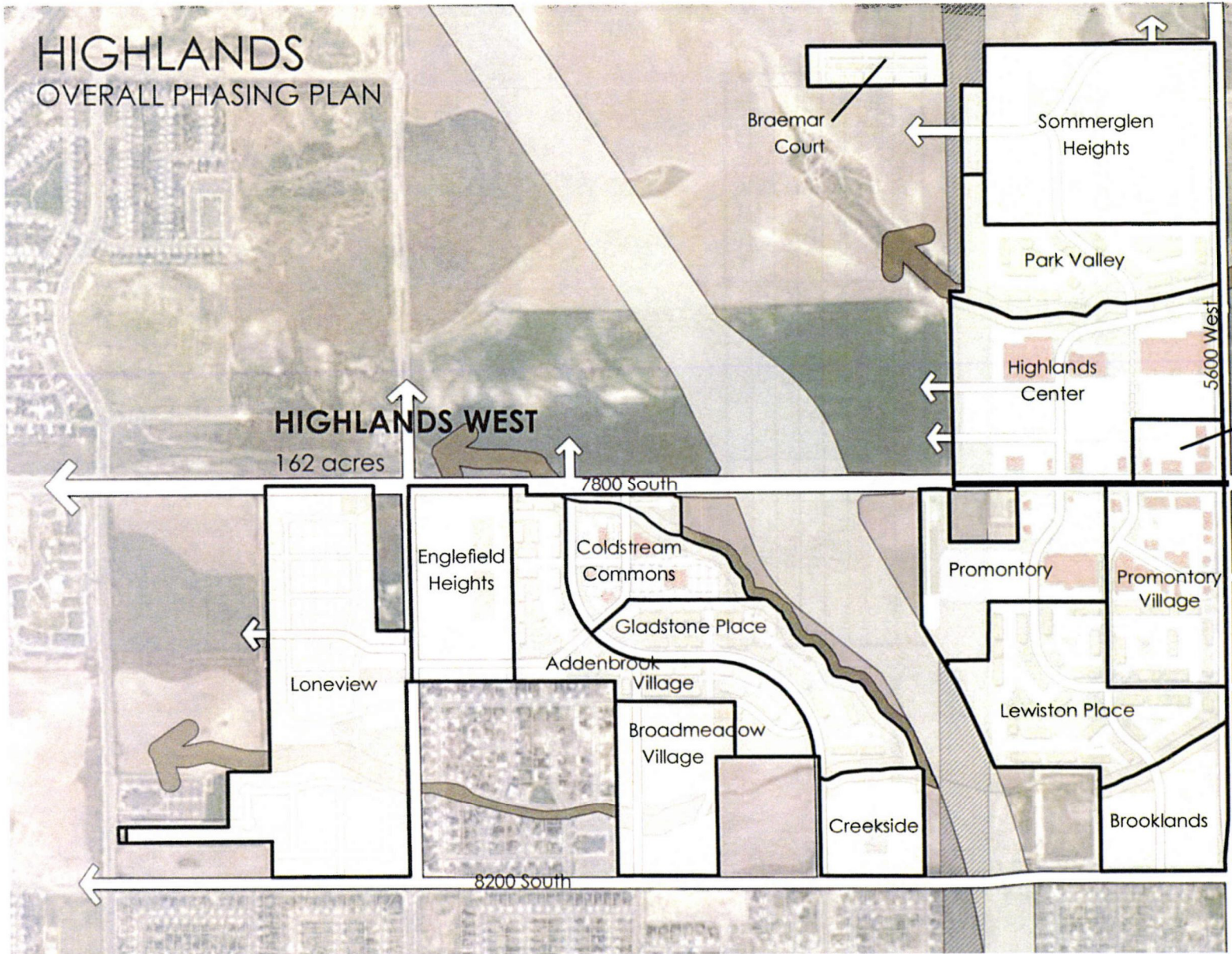
### HIGHLANDS NORTH

Highlands North is comprised of 3 residential neighborhoods and a large commercial center. Residential densities reflect proximity to non-residential intensities. The hallmark of this village is proximity to shopping and a high degree of direct access to regional trails along Dry Wash and the utility corridor.



# HIGHLANDS

## OVERALL PHASING PLAN





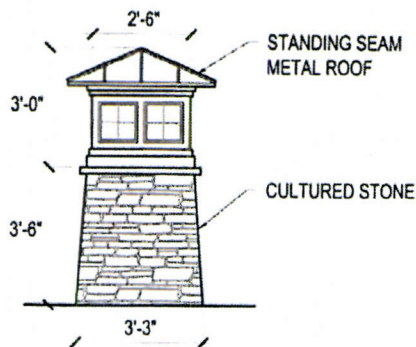
# AMENITIES BY AREA



The purpose of the proposed amenities is to create a development that adds to the quality of life of the residents who will live in the Highlands. The amenity tables are broken down by Community (Highlands West, Highlands East, Highlands North) and then by individual village.

The following section will describe the specific density buy-up program and the amenities that will be provided in conjunction with this program. These amenities are shown by village but are subject to change during Preliminary Development Plan submittal.

The following section will describe the specific density buy-up program and the potential amenities that will be provided per village in conjunction with this program.



West Side Specific Planning Area Land Use Density Chart		
Zone	Base Density D.U. Per Acre	Maximum Density D.U. Per Acre
VLSFR	1.00	2.00
LSFR	2.01	4.50
MFR	4.51	9.00
HFR	9.01	18.00
MU	NA	25.00

Adopted by Ord. No. 06-50,12-12-2006





<b>WSPA Required Standards &amp; Optional Improvement Density Incentive Chart</b>		
<b>Trails &amp; Open Space</b>		
<i>Amenity/Improvement</i>	<i>Weighted Value</i>	<i>Required vs. Optional</i>
Dedication of open space, trail corridors or "in lieu of fees" in accordance with the Comprehensive General Plan and the Parks, Recreation and Trails Master Plan.		Required
Installation of enhanced open space/recreational amenities in excess of that required per City standards.	22%	Optional
Improvement of trail corridors and installation of trail amenities in excess of that required per City standards.	15%	Optional
Dedication of additional property for trails beyond that required per City standards along creeks/washes.	15%	Optional
<b>Street Design</b>		
<i>Amenity/Improvement</i>	<i>Weighted Value</i>	<i>Required vs. Optional</i>
Pedestrian scale and consistent, architectural street lighting		Required
Traffic calming design		Required
Street system designs		Required
Entryway monument or gateway feature to the subdivision/development	10%	Optional
Provision of a landscape buffer on major right-of-ways	22%	Optional
<b>Smart Growth Urban Design</b>		
<i>Amenity/Improvement</i>	<i>Weighted Value</i>	<i>Required vs. Optional</i>
Master Planned subdivision design		Required
Pedestrian friendly and walk-able neighborhood design		Required
Alternative load garage configuration	18%	Optional
Clustered subdivision design	10%	Optional
<b>Building Design</b>		
<i>Amenity/Improvement</i>	<i>Weighted Value</i>	<i>Required vs. Optional</i>
Attractive theme-based and consistent architecture on all structures		Required
Installation of covered porches throughout 50% of the subdivision	14%	Optional
Enhanced door and window treatment	12%	Optional
Equal dispersion and use of high quality building materials	12%	Optional

*Exclusions:*

- 30% Slope
- Right-of-Ways >66'
- Primary Drainage corridors and wetland



# HIGHLANDS WEST OVERVIEW

## (Projected Densities)

Description	Acreage	Zoning Designation	Minimum Units	Maximum Units	Minimum Density	Density Buy-up	Density with Proposed Buy-up	Units with Proposed Buy-up	Units Shown on Concept Site Plan
Creekside	10.06	MFR	45.37	90.54	4.51	28%	5.77	58	48
Broadmeadow Village	18.28	LSFR	36.74	82.26	2.01	57%	3.16	58	57
Gladstone Place	15.73	HFR	141.73	283.14	9.01	82%	16.38	258	256
Addenbrook Village	22.4	MFR	101.02	201.60	4.51	78%	8.03	180	177
Coldstream Commons	13.23	SC-2							
Englefield Heights	17.60	LSFR	35.38	79.20	2.01	100%	4.02	71	71
Loneview North	32.15	LSFR	64.62	144.68	2.01	74%	3.50	112	108
Loneview	19.66	LSFR	39.52	88.47	2.01	70%	3.42	67	68
Net Acres	149.11		464.38	969.89		Average		804	785
Creek/Wash Corridor	3.43					81.47%			
Roads >66'	8.34								
Trail Head	1.38								
Gross Acres	162.26								

Density Buy-up Not Applicable

Parks/Open Space	26.93
------------------	-------

### Optional Improvements

	Value	Amenities for Creekside	Amenities for Broadmeadow Village	Amenities for Gladstone Place	Amenities for Addenbrook Village	Amenities for Englefield Heights	Amenities for Loneview North	Amenities for Loneview
<b>Active Open Space Amenity/Facility</b>								
Swimming Pool	2%			2%				
Tennis Court	2%					2%		
Fitness trail stations	1%		2%	2%				1%
Playground w/ equipment	1%							
Tot lot	1%		1%	1%	1%	1%		1%
Community Garden	2%		2%			2%		
Picnic Area w/ covered pavilion, gazebo, tables, benches, etc	2%		2%	2%	2%	2%	2%	2%
Playing field (baseball, soccer, etc.)	2%		2%			2%		
Forecourt w/ seating area	2%							

<b>Passive Open Space Amenity/Facility</b>	Value							
Common Green	1%		2%		1%	1%	1%	1%
Courtyards	2%							
Landscaped Buffer, island, or median	2%		2%			2%		
Greenbelt	2%		2%	2%	2%	2%		2%
Common landscaped Garden	2%		2%		2%	2%		2%
Pond	3%		1%			3%		
Forecourt w/o seating area	1%		1%	1%		1%		
Max permitted is 22% in this category		0%	19%	10%	8%	20%	3%	9%

<b>Trail Amenities</b>	Value							
1 tree every 25 linear feet of trail, and 1 shrub, bush or perennial every 2 linear feet of trail	4%		4%	4%		4%	4%	4%
1 bench every 1000 ft	1%		1%	1%		2%	1%	1%
1 trash receptacle every 1000 ft	1%		1%	1%		2%	1%	1%
Split rail/wrought iron, wood or vinyl fence (4-6 ft high)	4%		4%	4%				4%
Max permitted is 15% in this category								

<b>Dedication of Additional Trail Corridor</b>	Value							
Min of 12' and max of 25' additional to trail corridor	15%						9%	

<b>Street Design</b>	Value							
Entry Monument at each entrance	10%	10%	10%	10%	10%	10%	10%	10%
Landscape Buffer up to 4' tall, 4:1 slope, HOA maintained, 32' deep and 1% for every 100 linear feet along a collector or arterial	22%			18.8%	22.0%		2%	

<b>Smart Growth Urban Design</b>	Value							
Alternative garage configuration: no more than 25% of lots shall have standard garages	9%-18%			18%	18%	18%	18%	18%
Cluster subdividing	10%							

<b>Building Design</b>	Value							
Covered porches on 50% of the development: 50 sq ft, corner wrap around porches, railings/porch columns	14%						14%	
Enhanced door and window treatment	12%					12%	12%	
Equal dispersion and use of high quality building materials	12%					12%		

<b>Substitute Amenities</b>	TBD							
Landscaped trail head at 7800 S with parking lot and covered pavilion	10%	10%	10%	10%	10%	10%		10%
Landscape buffer (5' wide) along 8200 South	3%	3%	3%					3%
Landscape buffer (8' wide) along 7800 South	5%				5%	5%		5%
Installation of trail (8' wide) north of Jordan School District property on 8200 S	5%	5%	5%	5%	5%	5%		5%

Total Buy-up	28%	57%	82%	78%	100%	74%	70%
--------------	-----	-----	-----	-----	------	-----	-----

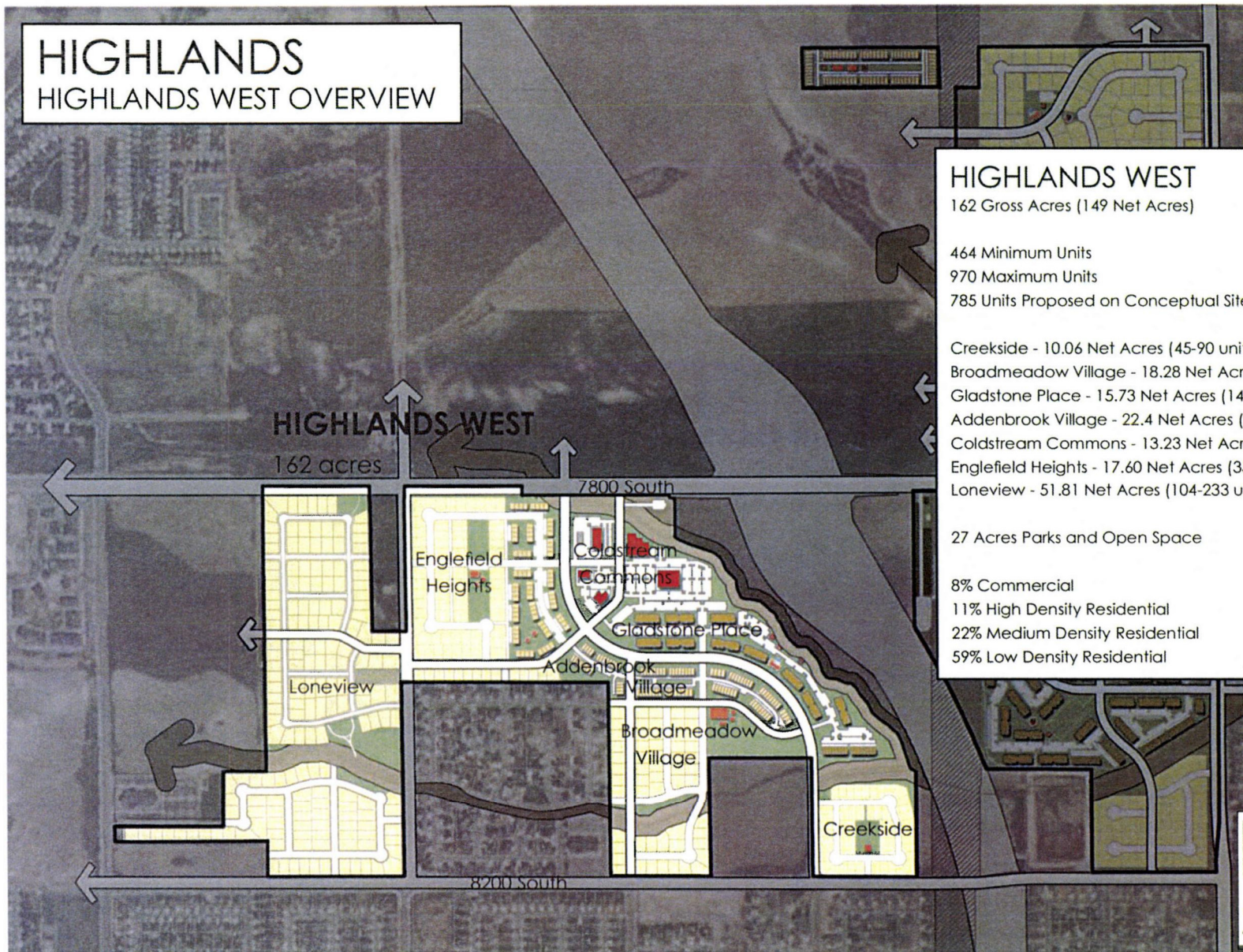


This page intentionally left blank



# HIGHLANDS

## HIGHLANDS WEST OVERVIEW



## HIGHLANDS WEST

162 Gross Acres (149 Net Acres)

464 Minimum Units

970 Maximum Units

785 Units Proposed on Conceptual Site

Creekside - 10.06 Net Acres (45-90 units)

Broadmeadow Village - 18.28 Net Acres (14-233 units)

Gladstone Place - 15.73 Net Acres (14-233 units)

Addenbrook Village - 22.4 Net Acres (14-233 units)

Coldstream Commons - 13.23 Net Acres (14-233 units)

Englefield Heights - 17.60 Net Acres (14-233 units)

Loneview - 51.81 Net Acres (104-233 units)

27 Acres Parks and Open Space

8% Commercial

11% High Density Residential

22% Medium Density Residential

59% Low Density Residential



# HIGHLANDS EAST OVERVIEW

## (Projected Densities)

Description	Acreage	Zoning Designation	Minimum Units	Maximum Units	Minimum Density	Density Buy-up	Density with Proposed Buy-up	Units with Proposed Buy-up	Units Shown on Concept Site Plan
Brooklands	12.79	MFR	57.68	115.11	4.51	10%	4.96	63	54
Lewiston Place	28.94	HFR	260.75	520.92	9.01	95%	17.60	509	508
Promontory	20.38	SC-2							
Promontory Village	9.2	HFR (TSOD)	138.00	276.00					138-276
	11.73	SC-2(TSOD)	175.95	351.90					176-352
Net Acres	83.04		632.38	1263.93		Average			876-1190
Creek/Wash Corridor	0.69					52.65%			
Roads >66'	4.86								
Gross Acres	88.59								

Parks/Open Space	11.99	(includes 2.3 acres in utility easement)
------------------	-------	--

Density Buy-up Not Applicable

### Optional Improvements

		Amenities for Brooklands	Amenities for Lewiston Place
<b>Active Open Space Amenity/Facility</b>	<b>Value</b>		
Swimming Pool	2%		2%
Tennis Court	2%		2%
Fitness trail stations	1%		1%
Playground w/ equipment	1%		
Tot lot	1%		1%
Community Garden	2%		2%
Picnic Area w/ covered pavilion, gazebo, tables, benches, etc.	2%		2%
Playing field (baseball, soccer, etc.)	2%		2%
Forecourt w/ seating area	2%		

<b>Passive Open Space Amenity/Facility</b>	<b>Value</b>		
Common Green	1%		3%
Courtyards	2%		2%
Landscaped Buffer, island, or median	2%		
Greenbelt	2%		2%
Common landscaped Garden	2%		2%
Pond	3%		
Forecourt w/o seating area	1%		1%
Max permitted is 22% in this category		0%	22%

<b>Trail Amenities</b>	<b>Value</b>		
1 tree every 25 linear feet of trail, and 1 shrub, bush or perennial every 2 linear feet of trail	4%		4%
1 bench every 1000 ft	1%		1%
1 trash receptacle every 1000 ft	1%		1%
split rail/wrought iron, wood or vinyl fence (4-6 ft high)	4%		4%
Max permitted is 15% in this category			

<b>Dedication of Additional Trail Corridor</b>	<b>Value</b>		
min of 12' and max of 25' additional to trail corridor	15%		

<b>Street Design</b>	<b>Value</b>		
Entry Monument at each entrance	10%	10%	10%
Landscape Buffer up to 4' tall, 4:1 slope, HOA maintained, 32' deep and 1% for every 100 linear feet along a collector or arterial	22%		6.6%

<b>Smart Growth Urban Design</b>	<b>Value</b>		
Alternative garage configuration: no more than 25% of lots shall have standard garages	9%-18%		18%
Cluster subdividing	10%		

<b>Building Design</b>	<b>Value</b>		
Covered porches on 50% of the development: 50 sq ft, corner wrap around porches, railings/porch columns	14%		
Enhanced door and window treatment	12%		
Equal dispersion and use of high quality building materials	12%		

<b>Substitute Amenities</b>	<b>TBD</b>		
Landscaped area between commercial loading areas and residences 1% for every 100 linear feet along commercial	15%		13.7%
Loop trail linking the Clay Hollow Wash Trail to Transit Station	15%		15%

Total Buy-up	10%	95%
--------------	-----	-----



This page intentionally left blank



# HIGHLANDS

## HIGHLANDS EAST OVERVIEW

### HIGHLANDS EAST

87 Gross Acres (83 Net Acres)

632 Minimum Units

1,264 Maximum Units

879-1193 Units Proposed on Conceptual Site Plan

Brooklands - 12.79 Net Acres (58-115 units)

Lewiston Place - 28.94 Net Acres (261-521 units)

Promontory - 20.38 Net Acres (Community Shopping Center)

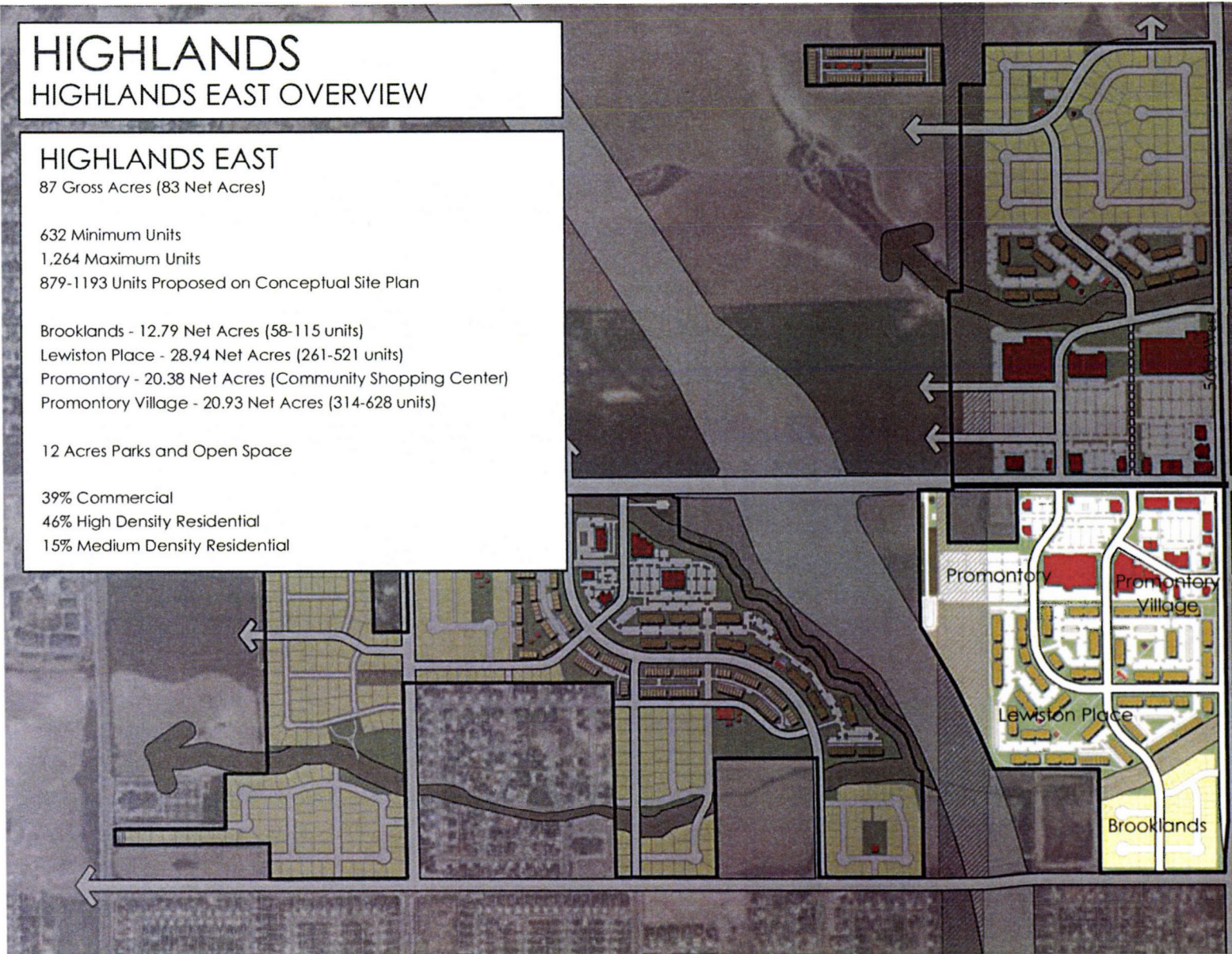
Promontory Village - 20.93 Net Acres (314-628 units)

12 Acres Parks and Open Space

39% Commercial

46% High Density Residential

15% Medium Density Residential





# HIGHLANDS NORTH OVERVIEW

## (Projected Densities)

Description	Acreage	Zoning Designation	Minimum Units	Maximum Units	Minimum Density	Density Buy-up	Density with Proposed Buy-up	Units with Proposed Buy-up	Units Shown on Concept Site Plan
Highlands Center	39.09	SC-2							
Highlands Square	4.3	SC-2(TSOD)	64.5	129					64-129
Park Valley	21.4	HFR	192.81	385.20	9.01	99%	17.97	385	385
Sommergren Heights	39.58	R-1-10 (10,000 sq ft lots)	115.00	115.00					115
Braemar Court	7.21	MFR	32.52	64.89	4.51	99%	8.97	65	64
Net Acres	111.58		404.83	694.09		Average			628-693
Creek/Wash Corridor	1.72					99.24%			
Roads >66'	8.02								
Gross Acres	121.32								

Density Buy-up Not Applicable

Parks/Open Space	15.69	(Includes 8.01 acres in utility easement)
------------------	-------	---

Optional Improvements		Amenities for Park Valley	Amenities for Braemar Court
<b>Active Open Space Amenity/Facility</b>	<b>Value</b>		
Swimming Pool	2%	2%	
Tennis Court	2%		2%
Fitness trail stations	1%	2%	
Playground w/ equipment	1%		
Tot lot	1%	1%	1%
Community Garden	2%	2%	2%
Picnic Area w/ covered pavilion, gazebo, tables, benches, etc.	2%	2%	2%
Playing field (baseball, soccer, etc.)	2%		
Forecourt w/ seating area	2%		
<b>Passive Open Space Amenity/Facility</b>	<b>Value</b>		
Common Green	1%	2%	1%
Courtyards	2%		
Landscaped Buffer, island, or median	2%	2%	2%
Greenbelt	2%	2%	
Common landscaped Garden	2%	2%	2%
Pond	3%		3%
Forecourt w/o seating area	1%	1%	1%
Max permitted is 22% in this category		18%	16%
<b>Trail Amenities</b>	<b>Value</b>		
1 tree every 25 linear feet of trail, and 1 shrub, bush or perennial every 2 linear feet of trail	4%	4%	
1 bench every 1000 ft	1%	2%	1%
1 trash receptacle every 1000 ft	1%	2%	1%
split rail/wrought iron, wood or vinyl fence (4-6 ft high)	4%	4%	
Max permitted is 15% in this category			
<b>Dedication of Additional Trail Corridor</b>	<b>Value</b>		
min of 12' and max of 25' additional to trail corridor	15%		15%
<b>Street Design</b>	<b>Value</b>		
Entry Monument at each entrance	10%	10%	10%
Landscape Buffer up to 4' tall, 4:1 slope, HOA maintained, 32' deep and 1% for every 100 linear feet along a collector or arterial	22%	3.5%	
<b>Smart Growth Urban Design</b>	<b>Value</b>		
Alternative garage configuration: no more than 25% of lots shall have standard garages	9%-18%	18%	18%
Cluster subdividing	10%		
<b>Building Design</b>	<b>Value</b>		
Covered porches on 50% of the development: 50 sq ft, corner wrap around porches, railings/porch columns	14%	14%	14%
Enhanced door and window treatment	12%	12%	12%
Equal dispersion and use of high quality building materials	12%	12%	12%
<b>Substitute Amenities</b>	<b>TBD</b>		

Total Buy-up	99%	99%
--------------	-----	-----



This page intentionally left blank



# Highlands

## HIGHLANDS NORTH OVERVIEW

### HIGHLANDS NORTH

121 Gross Acres (112 Net Acres)

405 Minimum Units

694 Maximum Units

628-693 Units Proposed on Conceptual Site Plan

Highlands Center - 39.09 Net Acres (Community Shopping Center)

Highlands Square - 4.3 Net Acres (70-129 units)

Park Valley - 21.4 Net Acres (193-385 units)

Sommerglen Heights - 39.58 Net Acres (115 units)

Braemar Court - 7.21 Net Acres (33-65 units)

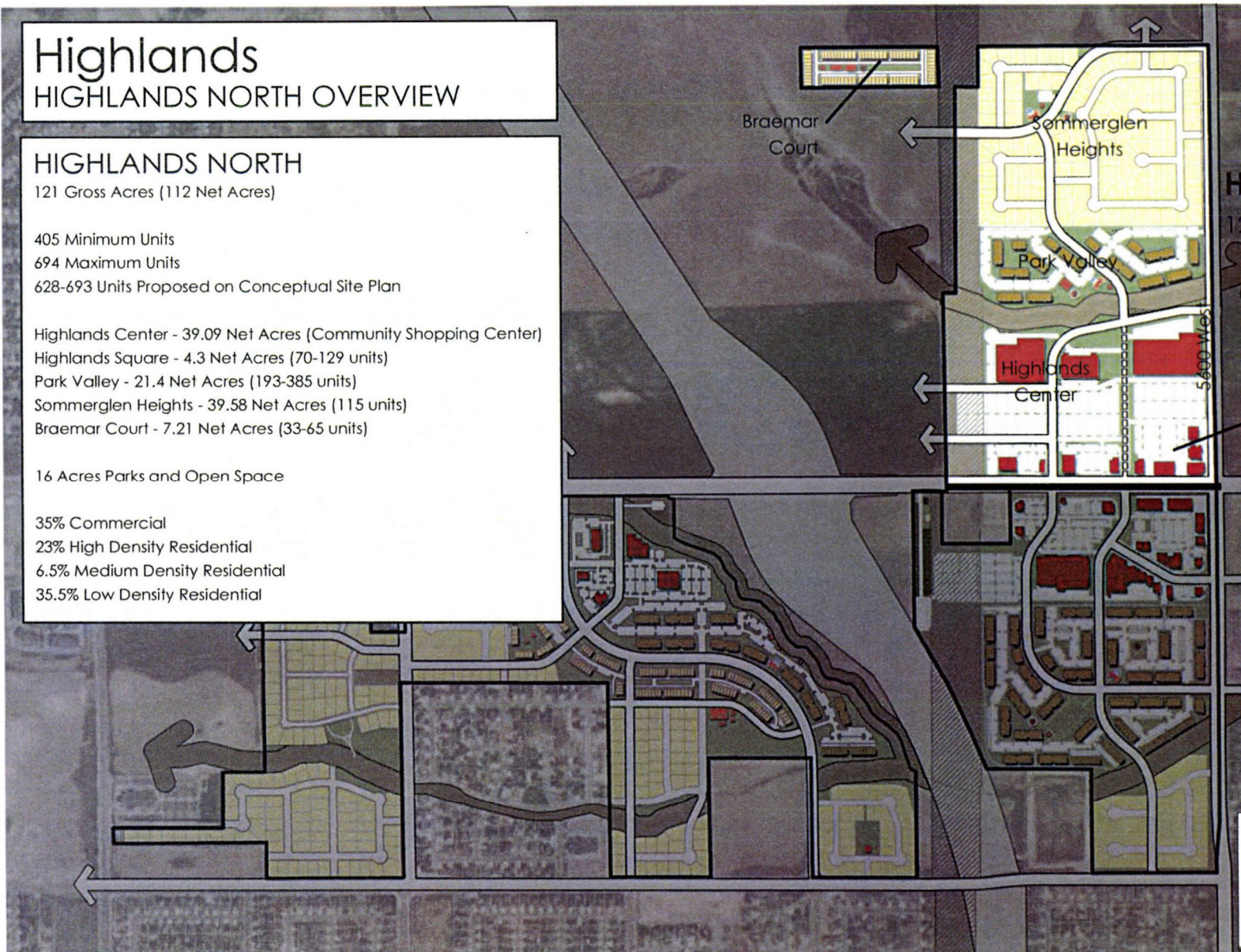
16 Acres Parks and Open Space

35% Commercial

23% High Density Residential

6.5% Medium Density Residential

35.5% Low Density Residential





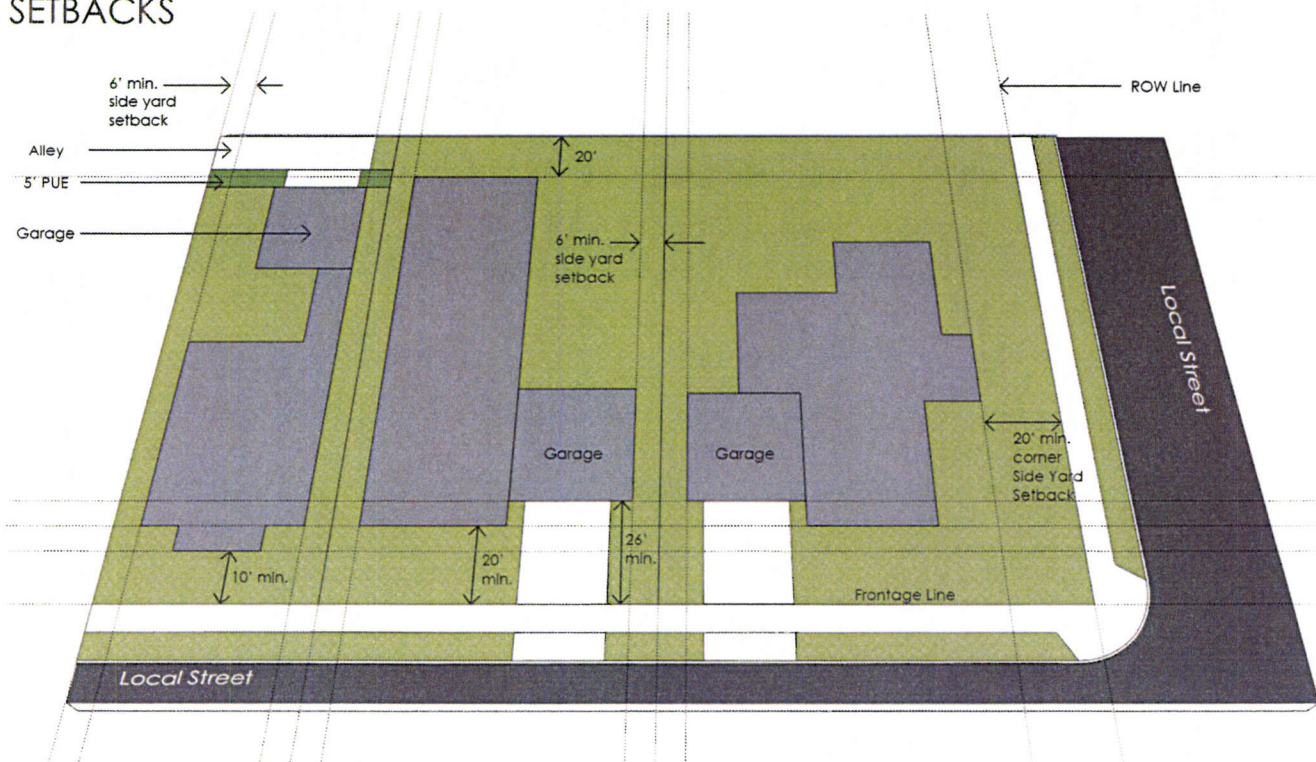
# ZONE REGULATIONS BY LAND USE

(Lot Area, Lot Width, Setbacks, Building Height, Lot Configurations)

DESIGN CRITERIA		STRUCTURE				
STRUCTURE TYPE		Single (Alley Load)	Single (Front Load)	Two Family	Attached Townhomes	Multi-Family
BUILDING HEIGHT						
Maximum		30'	30'	30'	30'	*
FRONT SETBACKS						
To Garage (minimum)		26'				N.A.
To Structure (minimum)		10'	20'	20'	20'	20'from private ROW
SIDE SETBACKS						
Interior		6'				Building to Building =18' Building to Property Line = 30'
Corner Local Street (minimum)		20'				20'
Corner Major Collector or Arterial (minimum)		35'				20'
REAR SETBACKS						
To Adjacent Lot (minimum)		5' PUE	15'	15'	15'	30'
Abutting Arterial or Major Collector (minimum)		35'				20'

\*These regulations reflect the standards found in Zoning Ordinance Section 13-5J-7. Specific lot, height and bulk standards in multi-family developments shall be established by the Planning Commission through approval of the Development Plan.

## SETBACKS

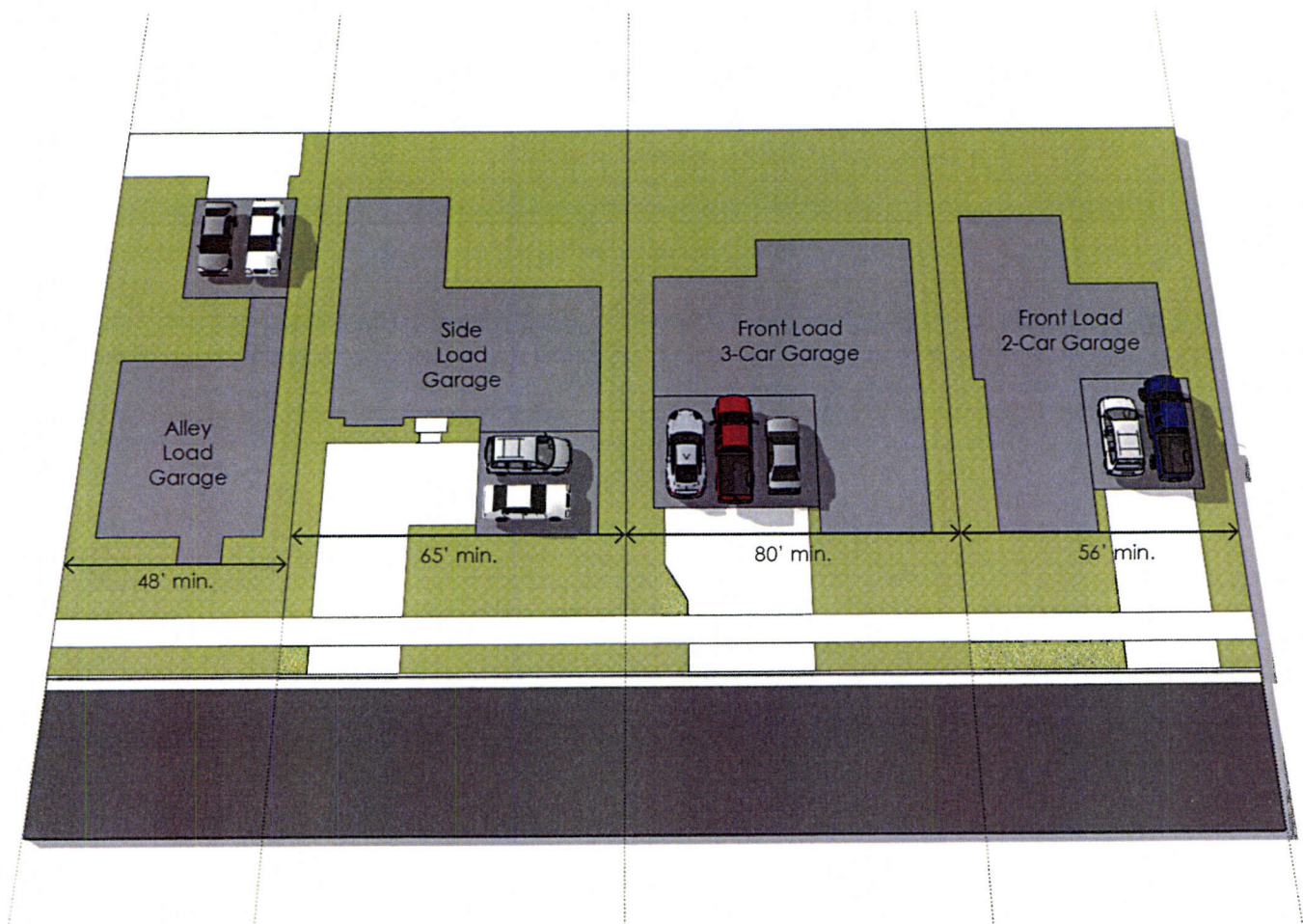


Landscape concepts are concepts only and are included to demonstrate a variety of potential applications. The land owner/developer retains the right to modify or disregard any and/or all concepts featured in these diagrams.



## LOT WIDTH (measured at building setback)

FRONTAGE AT BUILDING SETBACK	
Front Load 2-car Garage	56'
Front Load 3-car Garage	80'
Side Load Garage	65'
Alley Load Garage	48'





# BUILDINGS AND STRUCTURES (Elevations and Footprints)

## LSFR



This section addresses the architectural flavor that is desired for the Highlands by land use category.

Architectural style is not prescribed in the Master Development Plan, but shall be presented at Development Plan submittal. These images are prototypes only and do not represent specific form, massing or material requirements.

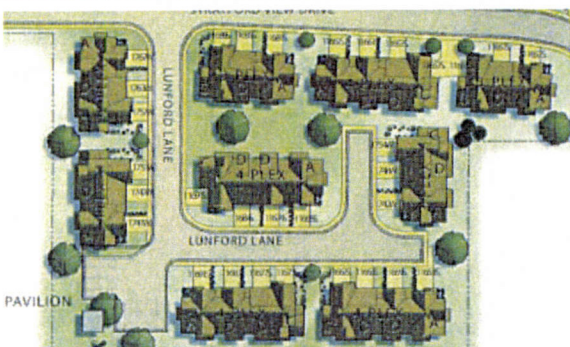
Each village in the Highlands will have its own unique architectural style. Architectural design presented in each Development Plan will be reviewed by the Design Review Committee.

## MFR





HFR









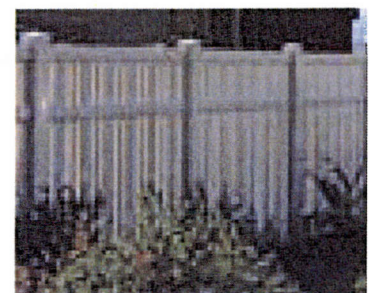
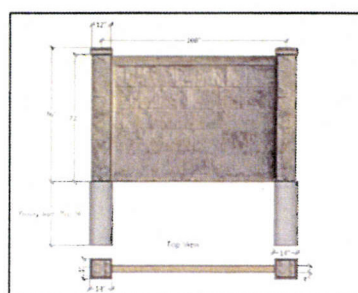
# FENCING AND WALLS



The boundary for the Highlands should be a soft transition between parcels that consists primarily of landscape buffer. However various conditions may occur where a fence, wall or other type of physical barrier is required. These fencing guidelines are intended to unify the design of fences and walls within a comprehensive theme.

## STRATEGIES:

- 1) The overall design of Highlands strongly emphasizes open styles of fencing, especially along roadways and surrounding neighborhoods.
- 2) Solid fences are not appropriate except in between houses and between different land uses.
- 3) Open styles are considered to be those that emphasize the use of natural materials such as wood with architectural detailing, iron fencing between solid pilasters, and which utilize natural colors, such as brown, gray or green.
- 4) Any fence or wall must be designed to be compatible with the architecture of the immediate area, and are subject to Design Review.
- 5) The design of fences and walls must harmonize with the site and with the buildings in both scale and materials.
- 6) The placement of walls and fences must respect existing land forms and follow existing contours and fit into existing land masses rather than arbitrarily following site boundary lines.
- 7) Fencing must not dominate the buildings or the landscape. Plantings may often be integrated with fencing schemes to soften the visual impact. Fencing materials must be compatible with the materials and color of surrounding buildings.
- 8) If the ground slopes, the fence must be stepped.
- 9) Permanent chain link, livestock wire, plywood, chain and bollard are prohibited.
- 10) All fences, walls, gates & pylons require Design Review. Fences that replace, in kind, existing fencing of less than 100 linear feet, do not require a permit. Additionally, fences over six feet in height, electric gates and all retaining walls will require a building permit.





## LIGHTING

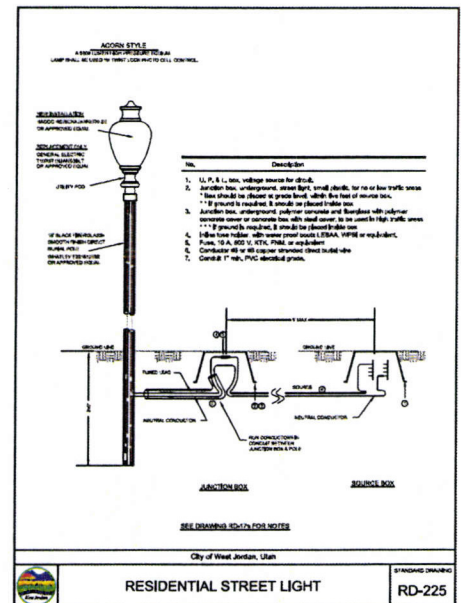
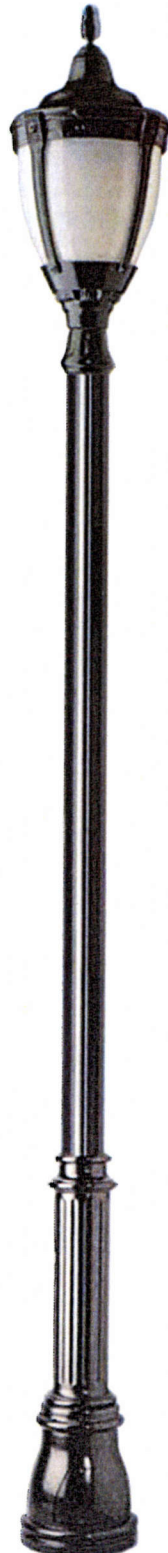
It is the intent of the Highlands to maintain a small village atmosphere with the need to provide for the safe movement of vehicles and people in all communities. To meet this intent, recommended lighting levels are to be defined at minimum levels to provide public safety and at the same time enhance the appeal of buildings and landscaping and to protect the desired atmosphere of the community.

An appropriate hierarchy of lighting fixtures/structures and intensity must be considered when designing the lighting for the various elements of a project (i.e., building and site entrances, walkways, parking areas, or other areas of the site).

Light Fixtures will conform with City of West Jordan Standards. Lighting requirements are found in the West Side Planning Area – Zoning Districts Sec. 89-3-1107. Pedestrian scale and consistent, architectural street lighting.

The use of exterior lighting to accent a building's architecture is encouraged. All lighting fixtures will be properly shielded to eliminate light and glare from impacting adjacent properties, and passing vehicles or pedestrians. If neon tubing is used to illuminate portions of a building it must be concealed from view through the use of parapets, cornices or ledges. Small portions of exposed neon tubing may be used to add a special effect to a building's architecture but this must be well thought out and integrated into the overall design of the project.

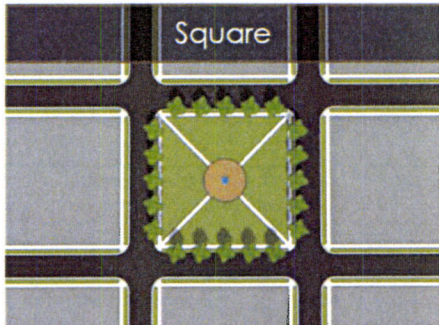
To achieve the desired lighting level for parking and pedestrian areas, the use of more short, low intensity fixtures is encouraged over the use of a few tall fixtures that illuminate large areas.



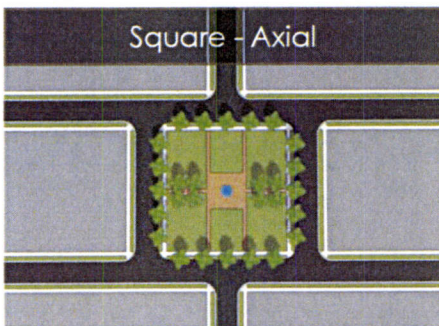


# PUBLIC AND PRIVATE USE AREAS

The following diagrams demonstrate the potential prototypical public and private use areas within the Highlands. The actual location of individual areas in each village will be determined within each Village Development Plan.



**Square:** An open space amenity used for active and passive recreation and may be spatially defined by roads or building and/or road frontage.



**Square:** An open space amenity used for passive recreation and civic purposes. A square is spatially defined by building frontage.

**Arterial Buffer:** A multipurpose open space amenity used for passive recreation. Buffers also provide visual relief for properties adjacent to major roads.

**Close:** A semi-public open space used for passive recreation by residents living in adjacent buildings.

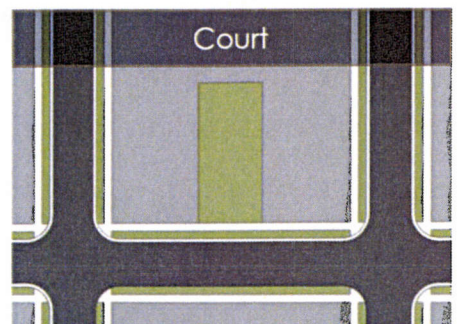
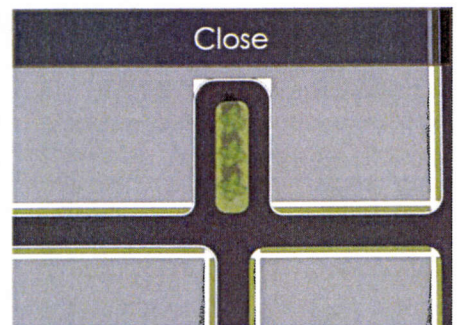
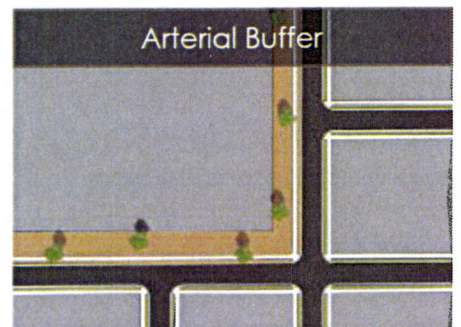
**Square - Axial:** An open space amenity used for passive recreation and civic purposes. A square is spatially defined by building frontage and located to cause interruption and visual termination of a thoroughfare. Two one-way streets allow for traffic to flow on either side of the square.

**Square - Double Axial:** An open space amenity used for passive recreation and civic purposes. A square is spatially defined by building frontage and located to cause interruption and visual termination of two thoroughfares. Two-way streets allow for traffic to flow around the square.

**Court:** A semi-public open space amenity used for passive recreation by residents living in abutting lots.

**Plaza:** An open space amenity used for commercial and civic purposes. A plaza is spatially defined by building frontage and generally consist of hardscape material.

**Playground or Pocket Park:** An open space amenity used for active and passive recreation. They are spatially defined by buildings because in most cases they are located within a block.





# LANDSCAPING - GENERAL AREAS

## (Streetscape, Washes, Entrances, Buffers, Parks)



The Highlands Conceptual Site Plan shows a minimum of 20% open space for the overall development. Open space in the form of trails, parks, and landscape buffers are spread throughout the plan to provide recreation areas and areas of visual interest for each village.

**Streetscapes** – The first village to develop along any road shall determine how the rest of that streetscape shall be installed in order to form a uniform streetscape along contiguous sections of roadway. All plantings shall adhere to Municipal Code Sec. 13-13-8 – Park Strips and streetscapes.



**Trails** – Trails will be installed as dictated by the Trails criterion within the West Side Planning Area (Sec 13-5J-6). Trails that are shown on the West Jordan Trails Master Plan and on the General Land Use Map as public trails will be constructed by the developer and dedicated to West Jordan City. The primary drainage corridor and 50' of property offset from top of bank on both sides of the wash/creek, as dictated by the aforementioned code, will be dedicated to the city as well as the trail itself. The maintenance of this property is intended to be the responsibility of the City. The wash shall remain natural and non-irrigated other than "hot-spots" as spelled out in the Pedestrian Circulation portion of this document. These hot-spots may be irrigated and maintained by the adjacent village's HOA or by a master HOA for the community. The remaining natural wash will require selective mowing twice a year which will be West Jordan City's responsibility.





Parks – Parks are to be incorporated into the layout and design of the villages and not installed as an afterthought. They are to be used as gathering places, recreation areas, and in many instances hold the key amenities that give character to a particular village. Parks are to be maintained by HOAs created by each village or by a Master HOA for the overall community. If a park is located along a public trail, the park will be dedicated and maintained by the City.

The maintenance of each park will be determined at Site Plan submittal.



Landscape Buffers – There are 3 various widths of landscape buffers (32', 5', 9'). All landscaping installed within this landscape buffer shall be in accordance with Sec 13-5J-6 – Provision of a landscape buffer on major right-of-ways, eliminating double-fronting lots and Sec 13-13-8 – Park Strips and streetscapes of the Municipal Code.

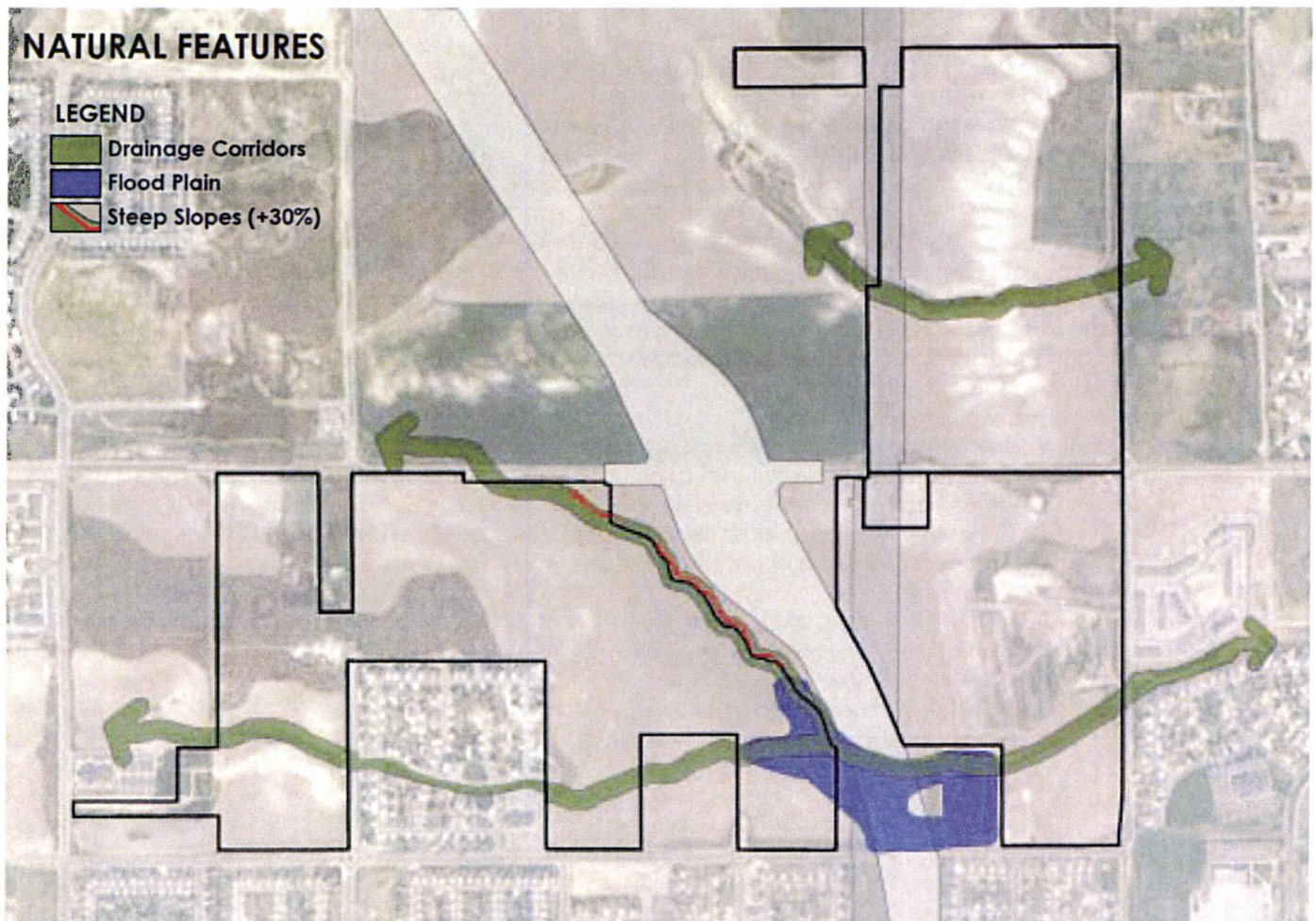




# DRAINAGE CORRIDORS, FLOOD PLAIN, AND STEEP SLOPES

The diagram below depicts the drainage ways that cross the property and the corresponding potential flood plain locations.

There are very few areas with steep slopes within the Highlands. Steep slopes, as defined by Municipal Code Sec. 13-6D-4-G, are those that exceed 30%. These small areas are confined to the Clay Hollow drainage corridor and are also depicted on the exhibit below.





# PROCESS FOR SUBSEQUENT SUBMITTALS

The next step in the submittal process will be to submit a Preliminary Development Plan for each village in the Highlands. These Preliminary Development Plans will follow the required checklist included in the WSPA code Section 13-5J-10 Development Plan Process, and will include a Preliminary Site Plan and Preliminary Plat. Each village needs to meet the required percentage of buy-up for the number of units shown on the Preliminary Site Plan. The Highlands Master Development Plan will act as a general guide in determining the amenities for buy-up. However, changes to the type of amenities and percent of amenities as shown in this document can be altered in Village Preliminary Development Plans.

The submittal checklist will include the following:

- a. Minimum and average lot area
- b. Minimum and average lot width
- c. Minimum living area per each proposed structure type
- d. Maximum and average height of each proposed structure type
- e. Explanation of how zoning requirements are being met
- f. Number and placement of each dwelling/structure type
- g. Direct reference on the plan to specific building elevations
- h. Fencing/wall placement, height, type, maintenance responsibilities, and elevations
- i. Lighting placement, height, type, maintenance responsibilities, and elevations
- j. Public and private use areas; explaining which areas will be used privately or publicly; including general recreation areas, native/unimproved open space, improved parks, schools, and public utility areas (storm water ponds). And the maintenance of each area.
- k. Explaining the landscaping; including the locations, amount, purpose, and maintenance
- l. List any proposed reimbursements
- m. Detailed renderings of the following:
  - i. Existing land use and zoning surrounding the proposed development
  - ii. Exterior perspectives or exterior elevations of all sides of proposed residential or mixed use buildings, structures, monuments, and gateway features.
  - iii. All residential development must show the proposed building envelopes for every lot, inclusive of lot dimensions, building footprint and lot area
  - iv. Street layout system
  - v. Parking layout showing parking stalls, ingress and egress areas, emergency lanes, medians
  - vi. If applicable, the location of existing services
  - vii. Copy of the preliminary site plan
  - viii. Copy of the preliminary subdivision plat
- n. An electronic copy of all submitted information on a CD in .pdf file format.



## APPENDIX

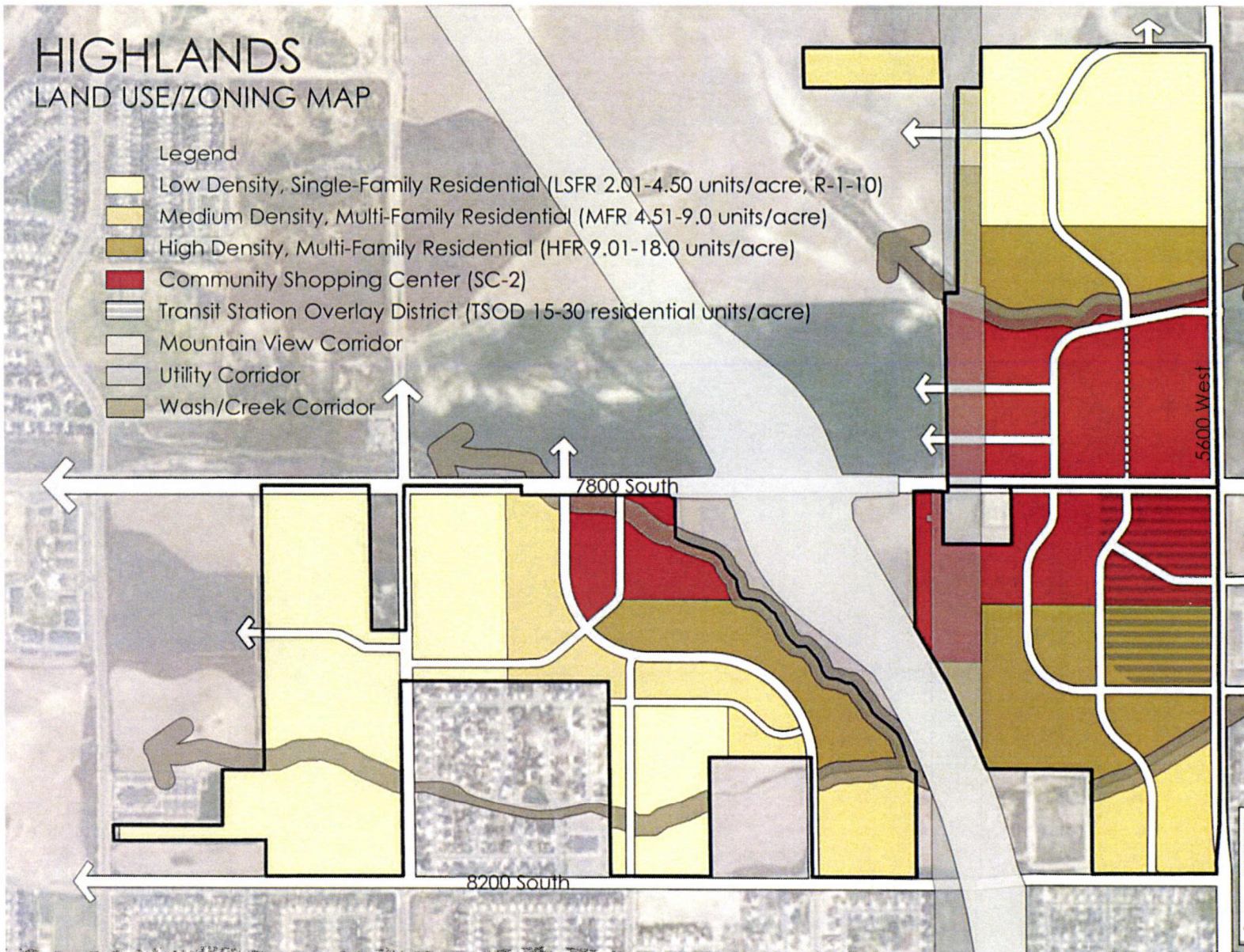


# HIGHLANDS

## LAND USE/ZONING MAP

### Legend

- Low Density, Single-Family Residential (LSFR 2.01-4.50 units/acre, R-1-10)
- Medium Density, Multi-Family Residential (MFR 4.51-9.0 units/acre)
- High Density, Multi-Family Residential (HFR 9.01-18.0 units/acre)
- Community Shopping Center (SC-2)
- Transit Station Overlay District (TSOD 15-30 residential units/acre)
- Mountain View Corridor
- Utility Corridor
- Wash/Creek Corridor

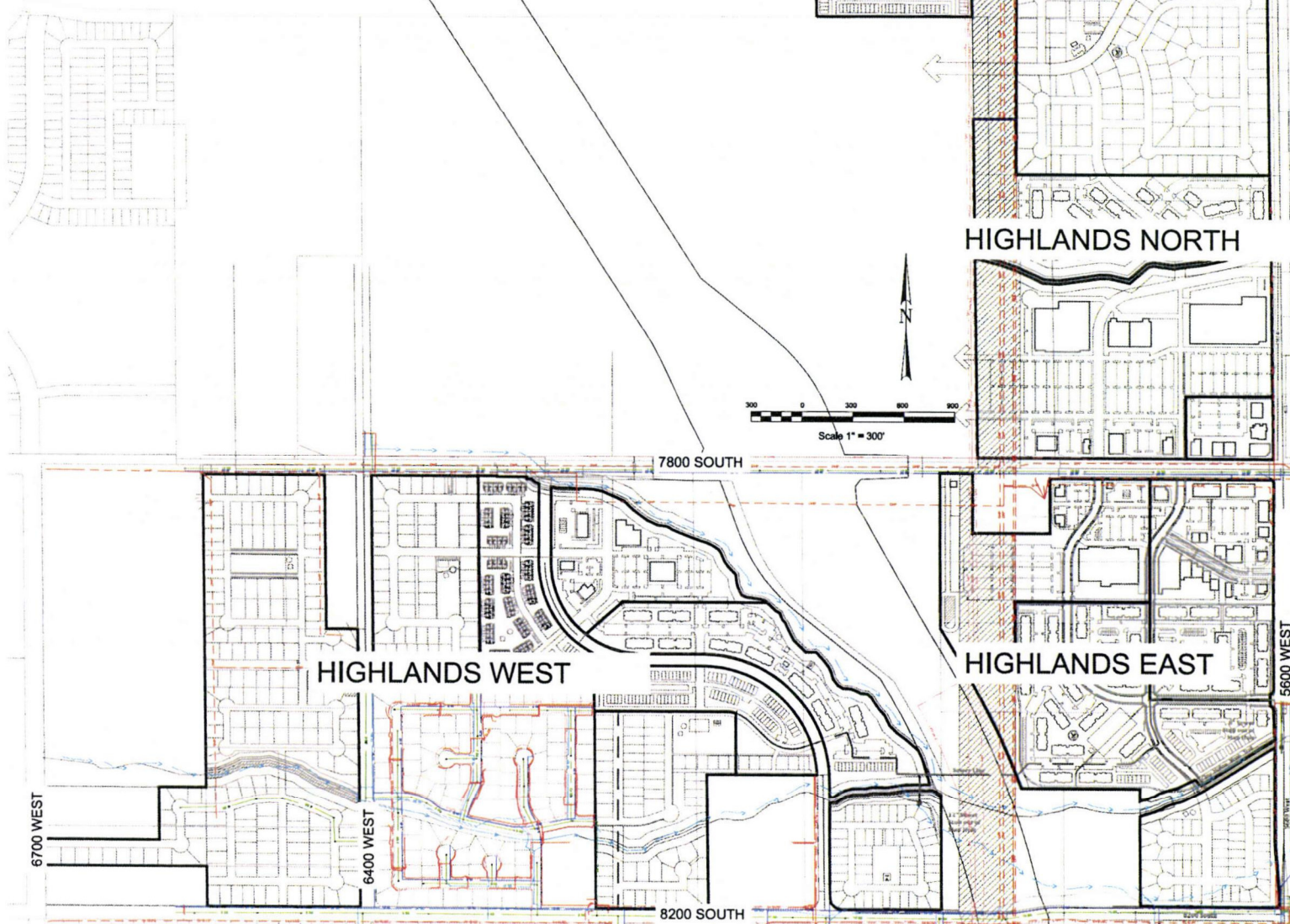








# HIGHLANDS OVERALL



## HIGHLANDS NORTH

## HIGHLANDS WEST

## HIGHLANDS EAST

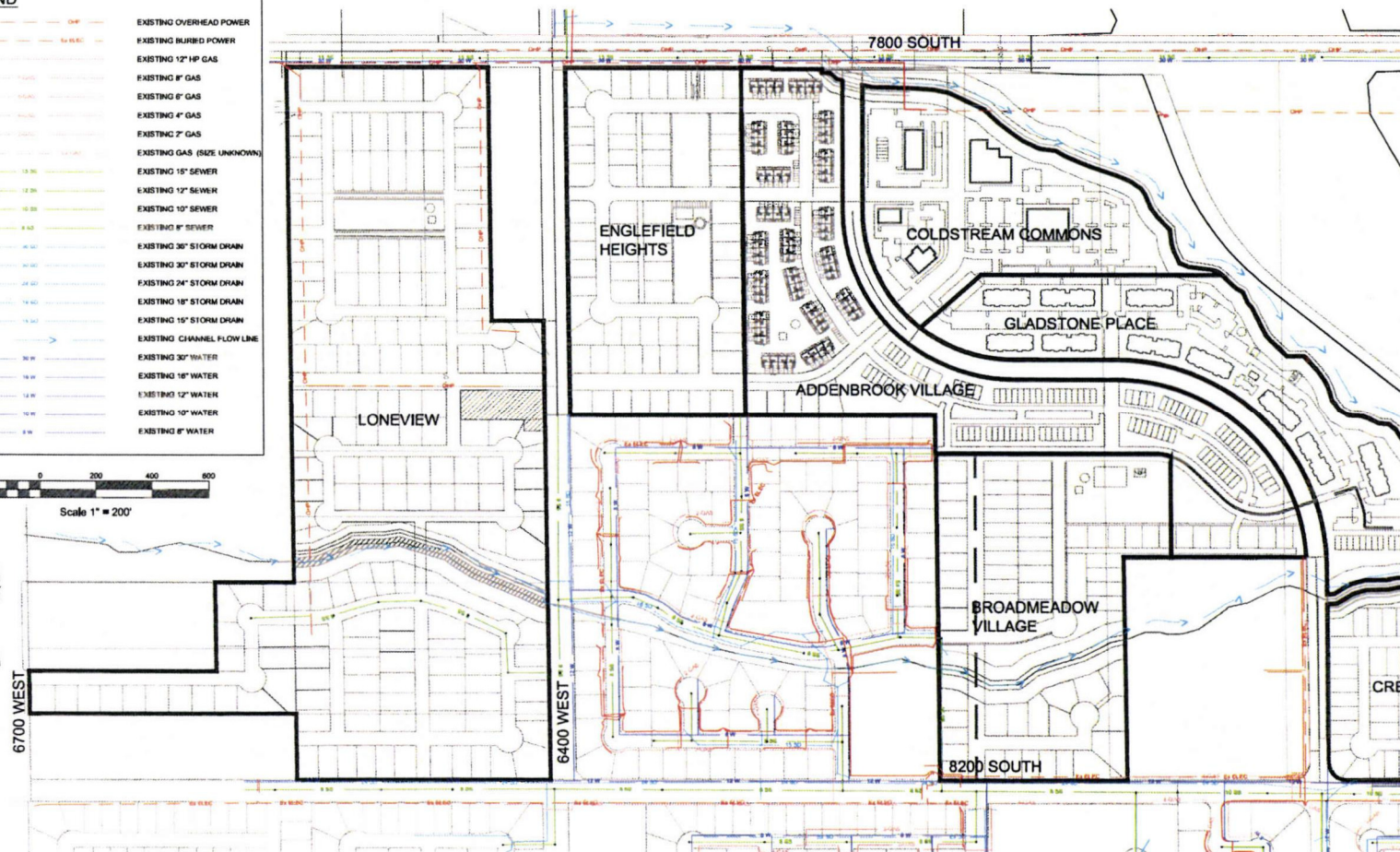


# HIGHLANDS WEST

LEGEND	
	EXISTING OVERHEAD POWER
	EXISTING BURIED POWER
	EXISTING 12" HP GAS
	EXISTING 8" GAS
	EXISTING 6" GAS
	EXISTING 4" GAS
	EXISTING 2" GAS
	EXISTING GAS (SIZE UNKNOWN)
	EXISTING 15" SEWER
	EXISTING 12" SEWER
	EXISTING 10" SEWER
	EXISTING 8" SEWER
	EXISTING 36" STORM DRAIN
	EXISTING 30" STORM DRAIN
	EXISTING 24" STORM DRAIN
	EXISTING 18" STORM DRAIN
	EXISTING 15" STORM DRAIN
	EXISTING CHANNEL FLOW LINE
	EXISTING 30" WATER
	EXISTING 18" WATER
	EXISTING 12" WATER
	EXISTING 10" WATER
	EXISTING 8" WATER



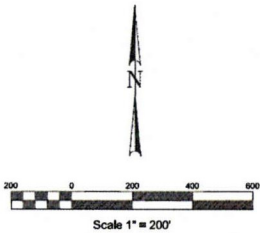
FILE NAME: T:\Projects\Development\Highland West\Development\Highland West\Maping\Maping.TB1  
DATE: 11/15/2017 11:58 AM  
TBL: HIGHLANDS WEST





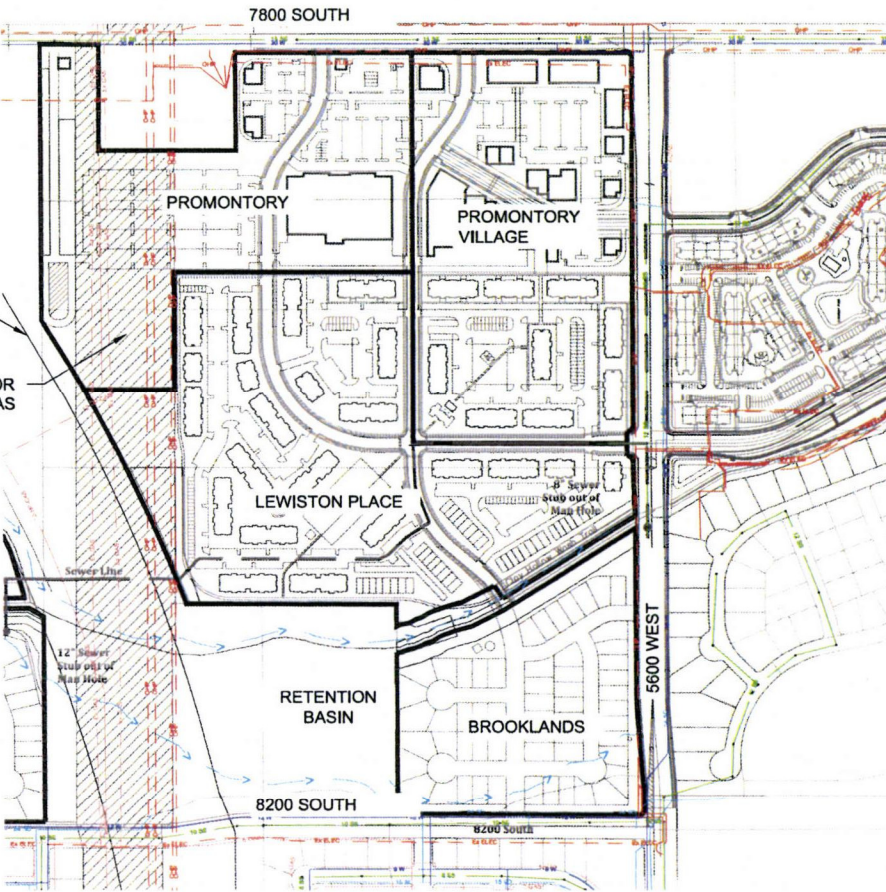
HIGHLANDS EAST

LEGEND	
	EXISTING OVERHEAD POWER
	EXISTING BURIED POWER
	EXISTING 12" HP GAS
	EXISTING 8" GAS
	EXISTING 6" GAS
	EXISTING 4" GAS
	EXISTING 2" GAS
	EXISTING GAS (SIZE UNKNOWN)
	EXISTING 10" SEWER
	EXISTING 12" SEWER
	EXISTING 10" SEWER
	EXISTING 8" SEWER
	EXISTING 30" STORM DRAIN
	EXISTING 30" STORM DRAIN
	EXISTING 24" STORM DRAIN
	EXISTING 18" STORM DRAIN
	EXISTING 15" STORM DRAIN
	EXISTING CHANNEL FLOW LINE
	EXISTING 30" WATER
	EXISTING 18" WATER
	EXISTING 12" WATER
	EXISTING 10" WATER
	EXISTING 8" WATER



MOUNTAIN VIEW  
CORRIDOR (UDOT)

EASEMENT FOR  
POWER AND GAS





# HIGHLANDS NORTH

## LEGEND

	EXISTING OVERHEAD POWER
	EXISTING BURIED POWER
	EXISTING 12" HP GAS
	EXISTING 8" GAS
	EXISTING 6" GAS
	EXISTING 4" GAS
	EXISTING 2" GAS
	EXISTING GAS (SIZE UNKNOWN)
	EXISTING 18" SEWER
	EXISTING 12" SEWER
	EXISTING 10" SEWER
	EXISTING 8" SEWER
	EXISTING 36" STORM DRAIN
	EXISTING 30" STORM DRAIN
	EXISTING 24" STORM DRAIN
	EXISTING 18" STORM DRAIN
	EXISTING 15" STORM DRAIN
	EXISTING CHANNEL FLOW LINE
	EXISTING 30" WATER
	EXISTING 18" WATER
	EXISTING 12" WATER
	EXISTING 10" WATER
	EXISTING 8" WATER

